

GREAT BARRINGTON COMMUNITY PRESERVATION COMMITTEE

APPLICATION FOR CPA FUNDING – Step 2

Date Received (for office use only) _____

All applicants submitting Step 2 must include a copy of their Step 1 application.

All applicants must answer questions 1-11, and question 19. For question 12-18, only answer questions that are applicable to your CPA area. For example, if your project has to do with Historical Preservation but does not include Housing, then you may skip questions 12, 13 and 14, but you must answer all questions under the subheading "Historical Preservation Projects."

You may attach additional sheets as necessary to answer the numbered questions, up to a maximum of 8 additional pages of narrative. These additional pages must be formatted with a minimum 11 point font, 1 inch margins. If your project combines two or more CPA priorities, such as Community Housing AND Open Space, then you must answer ALL questions under both of those 2 subheadings and you may include up to 10 additional pages of narrative. (Please note Open Space and Recreation is considered one CPA priority.)

All pages must be numbered. Please number each attached Page 1 of 8, Page 2 of 8, etc. If your answers are on separate sheets, also number each answer so that it corresponds with the number of the question you are answering.

Applicant Name _____

Project Name _____

Project Address _____

Assessor's Map _____ Lot _____

Property Deed Book / Page _____ / _____

1.) Project Budget (list all sources and uses, including grants, fundraising, etc.)

Total CPA funds requested: \$ _____

Fill in the chart below showing all project sources and uses, including requested CPA funds:

Source Name	Amount	% of total	Used for	Committed?
			Acquisition	
			Hard and Soft Costs	
			Hard Costs	
			Exterior, Historic	
Total budget:	\$5,250,000			

Attach additional budget sheets or project budget if necessary. Budget pages do not count towards the 8 page limit. Be sure to include project management, oversight, engineering, and administrative costs that may be incurred. Describe all funding that has been sought and/or is available for this project.

2.) Timing of Funds: Describe when CPA funds and other funding sources are to be received.

3.) Existing use or deed restrictions, permanent easements, historic designations, special permits, etc. if any: _____

4.) Proposed Use or Deed Restrictions after Project Completion (in accordance with CPA rules):

5.) Describe the project team, including project management personnel, design professionals, contractors, and other applicable consultants, their relevant experience, so forth. Attach additional pages/resumes as needed.

Additional Information: These pages do not count towards the 8 page limit. Attach additional information as appropriate, for example:

- Project timeline;
- Plans or drawings stamped and signed by an Engineer or Architect as appropriate;
- Photographs;
- Map showing project location in town;
- Ownership letters or site control verification;
- Budgets;
- Feasibility studies;

- Existing conditions reports or needs assessments;
- Letters of support;
- Resumes and experience of key personnel;
- For Historic Preservation projects, if the project is not State Register-listed, the applicant must provide a letter from the Historical Commission which details the significance of the project to Great Barrington’s history, culture, architecture or archeology.

Funding Considerations

6.) Consistency: Describe how the proposed project is consistent with the Community Preservation Plan and with the Great Barrington Master Plan.

7.) Town Projects: Is the proposed project for a town-owned asset? Yes ___ No ___
If yes, please describe funding options. For example, what portion of the project budget is CPA funding? If CPA funds are not received, what are the alternative funding options, if any?

8.) Public Benefits: Describe the public benefits of the project. _____

9.) Leverage: Will the CPA funds be used to leverage or supplement other funding for this project? Please explain other sources and whether they have been committed.

10.) Community Input and Support: Describe any community input, meetings and/or support that you have for your proposed project. Include support letters as applicable (they will not be counted towards the 4-page limit). Letters should be unique and not reproduced form letters. _____

11.) Permits: Describe permits that may be required, the status of those permits or applications, and/or when the applications will be submitted and permits received. _____

Affordable Housing Projects

12.) Affordable Housing Projects: Clearly describe how the project meets the Affordable Housing goals of the Community Preservation Plan.

13.) Affordability Level(s):

_____ % of area median income no. of units _____
_____ % of area median income no. of units _____
_____ % of area median income no. of units _____

14.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation?

Historic Preservation Projects

Applicants should note: all CPA-funded historic preservation projects must comply with the US Secretary of the Interior’s standards for the treatment of historic properties.

15.) Historic Preservation Projects: Clearly describe how the project meets the Historic Preservation goals of the Community Preservation Plan.

16.) Other Information: Describe any other relevant information about the project and the site. For example: is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site; is the site or could the site be contaminated and if so what is the plan for remediation.

Please see attached Continuation Sheet.

Open Space and Recreation Projects

17.) Open Space and Recreation: Clearly describe how the project meets the Open Space and Recreation goals of the Community Preservation Plan.

18.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals? Does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation.

Certification

19.) This application was prepared, reviewed, and submitted by:

Name: _____

Ph: _____ Email _____

I hereby certify that all of the above and included information is true and correct to the best of my knowledge. [For non-municipal applicants only: I further declare my willingness to enter into a Contract with the Town of Great Barrington to govern the use and expenditure of CPA funds.]

Signature: Jan Rank _____

Date: 12.14.21 _____

10 hard copies of the entire application package, and one PDF of the entire application package, are due prior to the 4:00 PM deadline.

Number all pages.

5. Project Team

The team will be led by Ian Rasch, owner and founder of Alander Group. Ian has over 20 years of real estate investment and development experience, including property development, financing, managing joint ventures, and leasing. Prior to founding Alander Group and Framework Properties, he was Vice President, Director of Development at Allegrone Companies. He had previously been Principal at Propeller Group in New York City where he repositioned a number of underutilized properties into high-end residential units, commercial space, and artistic performance space. His work experience also includes Project Management at Turner Construction in New York. He holds an MS in Real Estate Finance and Construction Management from NYU Schack Institute of Real Estate and is a licensed real estate broker.

Alander Group is focused on mixed-use and commercial properties in downtown locations. Recent economic development projects include the adaptive reuse and expansion of 47 Railroad Street, a transformative project in downtown Great Barrington. The mix of retail and residential uses with a very high level of sustainability and a central downtown location appeals to a broad demographic and is drawing people back downtown. 47 Railroad Street contains a unique and distinctive quality of live-work-shop choice with 13 residential units and 10,000 square feet of storefront retail located in the downtown core of Great Barrington. It is a prime example of Alander's commitment to sustainable development solutions that has a meaningful contribution to vibrant, healthy, and equitable communities in downtown districts. Alander is also developing Manville Place, a new build project that will address the "missing middle" of housing in Great Barrington. It will offer 1, 2, and 3 bedroom rental units in a traditional neighborhood setting within walking distance of shopping, dining and workplaces. The project features three new, energy-efficient buildings in an integrated courtyard configuration. Landscaped pedestrian paths will provide protected walking and biking paths to link the parcels together and promote walkability throughout the neighborhood.

In his prior role as the Vice President and Director of Development at Allegrone Companies, Ian Rasch managed the redevelopment of both the Onota Building and the Frank Howard Building, two award-winning adaptive reuse projects in downtown Pittsfield. These projects have brought 40 new residential units to downtown and over 10,000 square feet of first floor retail and commercial space, transforming vacant spaces into vibrant, diverse and dynamic new uses. These projects utilized both State and Federal Historic Tax Credits as well as the Housing Development Incentive Program through DHCD.

Alander Group is also a full-source construction provider, both self-performing on their own projects and for other clients. They have extensive experience in complex restoration and renovation projects, coordination of phased construction in occupied sites, new construction, mixed use construction, and fast-track construction projects in all market segments. Their comprehensive and diversified services transform visions into physical spaces where communities thrive and grow. Alander currently employs between 15 and 25 office and field personnel at any given time, including 5 site supervisors and foremen, each with over 20 years of construction experience.

6. Consistency

Among the benefits of the project will be a restored historically significant building that is currently disinvested and underutilized. Its renovation will enhance and reinforce the town character and the quality of life for residents. The health and wellness focused nonprofit tenancy will expand health care access to all, provide educational and job training opportunities, support and create connections to the local agricultural community,

and provide economic development benefits by creating and retaining jobs, both temporarily during construction and permanently during occupancy.

Concentrating development in an underutilized building with existing infrastructure will relieve pressures on open space and conserve the region's natural resources, which are also important to the town character, by preventing greenfield development. Re-investing in the existing built environment rather than using land and resources to build new is environmentally sound, reduces landfill waste, and decreases the carbon footprint of new construction in materials as well as land resources.

8. Public Benefits

Upon redevelopment, the property will be fully occupied and updated to modern code, making it accessible to persons with disabilities and transforming it into an attractive and important resource for health and food-related uses. The project seeks to restore and reuse a historically significant building, which will bolster the architectural and visual richness on Main Street and reinforce the character and diversity of the downtown. Public awareness of history and tradition help promote community involvement and interaction and contribute to a strong sense of place.

In its new, improved condition under for-profit ownership, the property will be assessed at a higher value and will contribute more substantially to the town's commercial tax revenue, spreading the benefit of the project across all Great Barrington taxpayers. There are also well-established environmental benefits to reusing an existing building and infrastructure resources versus building new, something less tangibly measurable but critical to all Great Barrington residents in this era of climate change. In addition, the applicant is willing to enter into a preservation restriction on the exterior features that are funded by CPA to ensure that the improvements are maintained at the highest standards for the benefit of the public.

9. Leverage

The barriers to downtown development in small cities and rural downtowns are multifaceted. Frequently working with obsolete, vacant and disinvested historic properties, the costs of rehabilitation and the challenges to raising the required capital for these disinvested, downtown projects can be overwhelming. In general, rehabilitating historic structures is more expensive than building new. In locations with lower revenue generation potential, in particular in more rural communities, inevitably gaps between construction cost and revenue potential emerge and are difficult to close. Conventional financing is often unrealistic as a stand-alone option for funding these projects. To be successful, these projects require layers of state and federal grants and earmarks, in addition sometimes to philanthropic dollars. Those investments, while outweighing the appraised value of the property itself, are critical as they represent an investment in the heritage and identity of a community. This investment catalyzes something that is difficult to define or measure in financial terms, but becomes a valuable pathway to a more connected and whole community, in addition to galvanizing further investment in and restoration of other nearby properties.

In the case of 343 Main Street, Alander's involvement is poised to bring to bear \$4.5 million in private investment. As a for-profit developer, Alander is not eligible for financing through Historic Tax Credits or Massachusetts Historic Commission grants due to the planned non-profit tenancy. This eligibility gap creates a barrier to enhancing and renovating the critical historic aspects of the building.

16. Other

Alander Group plans to redevelop 343 Main St, a two-story, 22,000 square foot former auto dealership, into a Sustainable Food Lab and Community Health and Wellness Center. Over a period of several years, Alander has

developed plans to reposition the property and attract a network of collaborative tenants. Tenant/project partners include Berkshire Health System, who are leveraging the success of their Williamstown location to open a second location for their Berkshire Community Pharmacy; and Volunteers in Medicine, a nonprofit that provides access to free, comprehensive health care to Berkshire region residents who are income-qualified and un- or under-insured. The two existing tenants, Community Health Programs for Family Dental Care and Berkshire Community College Adult Learning Program (ALP), will remain. These tenants will continue to offer critical dental care to children and adults as well as community education programs, including free ESOL for non-native English speakers. The final tenant, who will occupy the currently vacant historic storefronts and public-facing portions of the first floor, will be Sustainable Food Lab Berkshires, a newly formed group dedicated to creating sustainable local food systems and encouraging innovation and entrepreneurship. This mix of tenants will create new job opportunities as well as retain existing jobs, develop and expand a forum for equitable job training and skills development, and increase wellness access for the region. The tenants are all committed - please refer to the attached term sheets.

The project site is located on 1.45 acres of land at the southern end of Great Barrington's central business district. It has 53 feet of frontage along Main Street where there is an average daily traffic volume of 20,900 vehicles. Access to the property is gained through the rear parking area by Right of Way through the abutting property. The building attached to the south end of the site (known as 347 Main Street on the assessor's map) is a 21E site (not part of this project site). The Town of Great Barrington and the Department of Environmental Protection are very focused on cleaning up this adjacent site and in spurring renewed economic activity in this block of commercial buildings. The redevelopment of 343 Main Street aligns with this priority, and once completed will have greatly improved this area of focus.

343 Main Street is well poised to become a welcoming, accessible and engaging new hub of activity at this highly visible gateway to the commercial corridor in town. There is tremendous project momentum going into 2022. Alander Group will have acquired the building from Berkshire Community College as of December 15, 2021; five nonprofit tenants have signed term sheets and are committed and planning for occupancy in late 2023; engineering, architectural and environmental due diligence and planning is complete; cost estimating is complete; and private financing is committed. The project is consistent with local zoning requirements and is as of right. The most public-facing and historic elements of the project have been identified and will be prioritized at the front end of the construction cycle, as they are the most vulnerable and are suffering from delayed maintenance. It is for this part of the project that CPA funds will be used.

The project timeline aligns with the CPA funding cycle. Stabilization and exterior work is set to begin in July 2022, based on private financing and a successful CPA application. Interior work tenant fit out will begin in December 2022, allowing the project applicant time to apply for Underutilized Properties Program (UPP) funding from Mass Development, the Commonwealth's economic development agency, for that portion of the project. Mass Development has encouraged Alander Group to apply in the June 2022 application round for UPP funds for 343 Main Street. The application would benefit tremendously by being able to demonstrate local support in the form of CPA funding. UPP is a competitive program, and CPA funding would be a powerful leverage.

The public benefits that the restoration of 343 Main Street will bring to bear are numerous, the most relevant to CPA being the preservation and restoration of the historic elements of the building's exterior, which will be visible and present in Great Barrington residents' daily public experience of the property and neighborhood. The improvements at this location will reinforce what makes Great Barrington a special and attractive village. Moreover, the town will benefit from the improvements on assessment level, thus extending increased tax benefits across all residents and services, on top of an increase in the annual 3% CPA surcharge revenue that applies to commercial properties.

Project Budget and Schedule

Property: 343 Main Street
Address: Great Barrington, MA 01230

Development and Project Summary

Redevelopment Program

- Adaptive reuse and redevelopment of downtown building into a Sustainable Food Lab and Community Health and Wellness Center
- Tenants include: Berkshire Health Systems, Community Health Programs, Volunteers in Medicine, Berkshire Community College, Sustainable Food Lab
- The proposed rehabilitation will incorporate energy-efficiency measure and biophilic and resilient design principles
- Proposed development is by right under current zoning

Gross Square Footage:	22,000 SF
Net Rentable Square Footage:	20,000 SF

Tenants

Berkshire Health Systems	2,000 SF
Berkshire Community College	4,300 SF
Sustainable Food Lab	3,700 SF
Community Health Programs	3,500 SF
Volunteers in Medicine	6,500 SF

Acquisition and Project Schedule

Purchase and Sale Closing: 343 Main Street Great Barrington	12/15/21
Finalize plans/Zoning Permits/Building Permit	03/15/22
CPA Grant Award	06/01/22
Stabilization/Exterior Historic Work Begins	07/01/22
UPP Grant Award	10/30/22
Interior Fit Out Work Begins	12/01/22
Construction Complete - Certificate of Occupancy	12/01/23
Stabilized Occupancy	06/01/23

Property: 343 Main Street
Address: Great Barrington MA

Area Calculations and Lease Summary

UNIT SUMMARY							
# Units	Unit Description	Usable Suite SF	% of Usable Space	Net Rentable Area	Per Unit Annual Rent	Monthly Rent	Base Rent/SF
1	Berkshire Health Systems: Apothecary	2,000	10%	2,000	\$ 36,000	\$ 3,000	\$ 18
2	Berkshire Community College	4,300	22%	4,300	\$ 77,400	\$ 6,450	\$ 18
3	Sustainable Food Lab	3,700	19%	3,700	\$ 66,600	\$ 5,550	\$ 18
4	Community Health Programs	3,500	18%	3,500	\$ 63,000	\$ 5,250	\$ 18
5	Volunteers in Medicine	6,500	33%	6,500	\$ 117,000	\$ 9,750	\$ 18

Entered Value Per Floor plan

Property: 343 Main Street
 Address: Great Barrington, MA 01230

SOURCES & USES SUMMARY

SOURCES & USES		
USES		
Site Acquisition	\$	1,450,000
Hard Costs, including Contingency	\$	3,500,000
Soft Costs	\$	300,000
		\$ 5,250,000
SOURCES		
Equity	\$	1,350,000
Great Barrington CPA Funds	\$	250,000
Mass Development Underutilized Property Program (UPP)	\$	500,000
Permanent Financing	\$	3,150,000
		\$ 5,250,000
TOTAL DEVELOPMENT BUDGET		
		\$ 5,250,000

Property: 343 Main Street
 Address: Great Barrington, MA 01230

Development Budget Summary

DEVELOPMENT BUDGET		
ACQUISITION		
Site Acquisition	\$ 1,450,000	\$ 1,450,000
ENVIRONMENTAL COSTS		
Asbestos Containment	Included Hard Costs \$ -	\$ -
HARD COSTS		
Direct Construction Costs	\$ 3,150,000	\$ 3,500,000
Hard Cost Contingency	\$ 350,000	
SOFT COSTS		
Architectural & Engineering	\$ 80,000	\$ 300,000
Environmental	\$ 7,500	
Clerk/Inspections	\$ 6,500	
Legal Services	\$ 8,000	
Accounting	\$ 5,000	
Title/Recording	\$ 8,000	
Marketing	\$ 3,000	
Insurance	\$ 12,500	
Permits	\$ 6,500	
Operating Costs	\$ 15,000	
Reserves	\$ 20,000	
Real Estate Taxes	\$ 12,000	
Finance Costs	\$ 99,000	
Appraisal & Market Study	\$ 5,000	
Developer Fee & Overhead	\$ -	
Soft Cost Contingency	\$ 12,000	
TOTAL DEVELOPMENT BUDGET		\$ 5,250,000

	ITEM	TOTAL VALUE
DIV 01	<u>GENERAL REQUIREMENTS</u>	
013100	Project Manager	\$ 47,600
013101	Assistant Project Manager	\$ 18,000
013102	Project Superintendent	\$ 45,000
002056	Project Accounting	\$ 3,000
013200	Office Administration	\$ 2,400
013201	Office Equipment and Supplies	\$ 900
017113	Project Mobilization	\$ 1,000
017114	Project Demobilization	\$ 1,000
013202	Administration Requirements, Mailings, Fed-Ex, etc.	\$ 1,200
013201	Plans and Reproducible	\$ 2,500
013525	Temporary Fire Extinguishers	\$ 500
013523	Warning/Construction Signs	\$ 500
018010	Small Tools and Transportation	\$ 3,500
015100	Temporary Services	\$ 2,000
015219	Portable Toilets	\$ 2,160
019999	Material Storage	\$ 3,000
017413	Progress Cleaning	\$ 7,200
017419	Construction Dumpster	\$ 31,110
015800	Project Sign	\$ 5,000
015600	Construction Fence /Barrier & Fall Protection	\$ 2,500
013523	Site Safety/ First Aid	\$ 3,900
014000	Inspections & Testing	\$ 5,000
017600	Finish Protection	\$ 9,500
017400	Snow Plowing	\$ 1,200
017400	Job Site Maintenance	\$ 4,200
015100	Temp Heating Fuel	\$ 2,500
017500	Punchlist	\$ 2,800
019001	As Build Drawings	\$ 4,330
017423	Final Cleaning	\$ 10,000
002023	Permits & Licenses	\$ 21,500
TOTAL GENERAL REQUIREMENTS		\$ 245,000
DIV 02	<u>EXISTING CONDITIONS</u>	
024000	Demolition	\$ 12,500
028000	HAZMAT	\$ 22,500
TOTAL EXISTING CONDITIONS		\$ 35,000
DIV 03	<u>CONCRETE</u>	
033000	Slab Replacement	\$ 35,000
033000	Structural Concrete Repairs/Reinforcing	\$ 25,000
034000	Pump Truck	\$ 1,000
038000	Concrete Cutting	\$ 9,000
TOTAL CONCRETE		\$ 70,000
DIV 04	<u>MASONRY</u>	
040000	Interior Masonry Openings/Infills	\$ 12,500
040000	Exterior Masonry Openings	\$ 45,000
040000	Exterior Masonry Work (Repoint, Repair, Paint Removal, Chemical Clean, Wash)	\$ 75,000
040000	Storefront Modifications	\$ 17,500
040000	Miscellaneous Masonry Work	\$ 7,500
TOTAL MASONRY		\$ 157,500
DIV 05	<u>METALS</u>	
051000	Structural Steel	\$ 19,500
051000	Miscellaneous Steel	\$ 6,500
055200	Steel Handrails at Handicapped Ramp	\$ 4,000
057000	Permanent Steel Roof Ladders	\$ 5,000
TOTAL METALS		\$ 35,000

	ITEM	TOTAL VALUE
DIV 06	<u>WOOD AND PLASTICS</u>	
061000	Rough Carpentry	\$ 78,000
061000	Metal Framing/Wall Assembly	\$ 171,000
061000	Framed Dropped Ceilings	\$ 54,000
061000	Accessory /Miscellaneous / Fire Blocking	\$ 10,800
085000	Window Installation	\$ 39,000
062013	Exterior Cornice	\$ 10,215
061000	Storefront Framing, Subsills and Flashing	\$ 8,400
062013	Exterior Trim at Storefronts	\$ 11,500
062023	Interior Finished Carpentry	\$ 61,200
061000	Exterior Finished Carpentry	\$ 18,500
087000	Door Hardware Installation	\$ 7,800
062200	Kitchen Install	\$ 6,085
062013	Dumpster Enclosure	\$ 8,500
062013	Railings & Handrails	\$ 3,000
069300	Temp Enclosures & Barricades	\$ 3,600
014700	Man Lifts	\$ 15,400
014700	Equipment Rental	\$ 18,000
061000	Materials and Supplies	\$ 175,000
TOTAL WOOD AND PLASTICS		\$ 700,000
DIV 07	<u>THERMAL & MOISTURE</u>	
072000	Insulation Package	\$ 45,000
075000	EPDM Roofing	\$ 115,000
075000	Curb Flashing at HVAC, Electrical, Plumbing Penetrations	\$ 3,000
075000	Gutters and Downspouts	\$ 5,000
076000	Flashing & Seamtape	\$ 3,000
079000	Joint Sealants, Caulking, Flashing	\$ 2,300
071000	Waterproofing	\$ 1,700
TOTAL THERMAL & MOISTURE		\$ 175,000
DIV 08	<u>DOORS & WINDOWS</u>	
085000	Exterior Window Package	\$ 125,000
084000	Aluminum Storefronts	\$ 45,000
087000	Storefront Hardware	\$ 5,500
081113	Hollow Metal Doors & Frames	\$ 75,500
064800	Wood Doors	\$ 12,500
087000	Finish Hardware	\$ 16,500
TOTAL DOORS & WINDOWS		\$ 280,000
DIV 09	<u>FINISHES</u>	
092900	Drywall	\$ 135,000
092900	Resilient Channel & Dropped Ceilings	\$ 16,500
092900	Quite Rock for Sound Attenuation	\$ 12,500
096001	Acoustical Ceilings	\$ 14,500
097000	Flooring Treatment & Tile at Bathrooms	\$ 32,000
093000	Kitchen Cabinetry	\$ 9,500
099000	Painting & Specialty Finishes	\$ 130,000
TOTAL FINISHES		\$ 350,000

	ITEM	TOTAL VALUE
DIV 10	<u>SPECIALTIES</u>	
101000	Toilet & Bathroom Accessories	\$ 15,000
105500	Postal Specialties	\$ 8,500
101400	Interior Signage	\$ 6,500
102200	Hardware Installation	\$ 9,000
102200	Shipping and handling	\$ 1,000
102200	Exterior Signage	\$ 2,000
102201	Bike Bollards	\$ 10,500
TOTAL SPECIALTIES		\$ 52,500
DIV 11	<u>EQUIPMENT</u>	
TOTAL EQUIPMENT		\$ -
DIV 12	<u>FURNISHINGS</u>	
113000	Appliances	\$ 26,000
122000	Window Treatments	\$ 19,500
125000	Lobby Furniture	\$ 20,000
124000	Décor	\$ 4,500
TOTAL EQUIPMENT		\$ 70,000
DIV 13	<u>SPECIAL CONSTRUCTION</u>	
TOTAL SPECIAL CONSTRUCTION		\$ -
DIV 14	<u>CONVEYING SYSTEMS</u>	
TOTAL CONVEYING SYSTEMS		\$ -
DIV 21	<u>FIRE SUPPRESSION</u>	
211000	Fire Protection	\$ 122,500
TOTAL FIRE SUPPRESSION		\$ 122,500
DIV 22	<u>PLUMBING</u>	
221100	Plumbing	\$ 115,000
221100	Gas Distribution	\$ 8,000
221100	Fixture Package	\$ 69,500
TOTAL PLUMBING		\$ 192,500
DIV 23	<u>HEATING VENTILATING AND AIR CONDITIONING</u>	
230000	HVAC	\$ 185,000
230000	Dehumidifier	\$ 9,500
230000	Access Panels	\$ 3,500
230000	Kitchen Hood Connections	\$ 8,500
230000	Mechanical Support	\$ 3,500
TOTAL HEATING VENTILATING AND AIR CONDITIONING		\$ 210,000

	ITEM	TOTAL VALUE
DIV 26	<u>ELECTRICAL</u>	
261000	Demo and Make Ready Electric	\$ 5,500
261000	Electrical Labor, Equipment & Materials	\$ 145,000
261000	Fiber Internet and Phone Service Wiring	\$ 4,000
261000	Inspection Fees, Temp Heat Wiring	\$ 3,500
266600	Security Cameras	\$ 3,000
261000	Electric Fixtures	\$ 55,000
282000	Fire Alarm	\$ 26,000
282000	Access Control & Intercom	\$ 3,000
TOTAL ELECTRICAL		\$ 245,000
DIV 31	<u>EARTHWORK</u>	
TOTAL EARTHWORK		\$ -
DIV 32	<u>EXTERIOR IMPROVEMENTS</u>	
TOTAL EXTERIOR IMPROVEMENTS		\$ -
DIV 33	<u>ALLOWANCES</u>	
TOTAL ALLOWANCES		\$ -
	TOTAL CONSTRUCTION COSTS	\$ 2,940,000
002023	BUILDING PERMIT	
	CONTINGENCY	\$ 350,000
700000	MANAGEMENT FEE	\$ 175,000
002055	GENERAL LIABILITY	\$ 35,000
TOTAL PROJECT		\$ 3,500,000

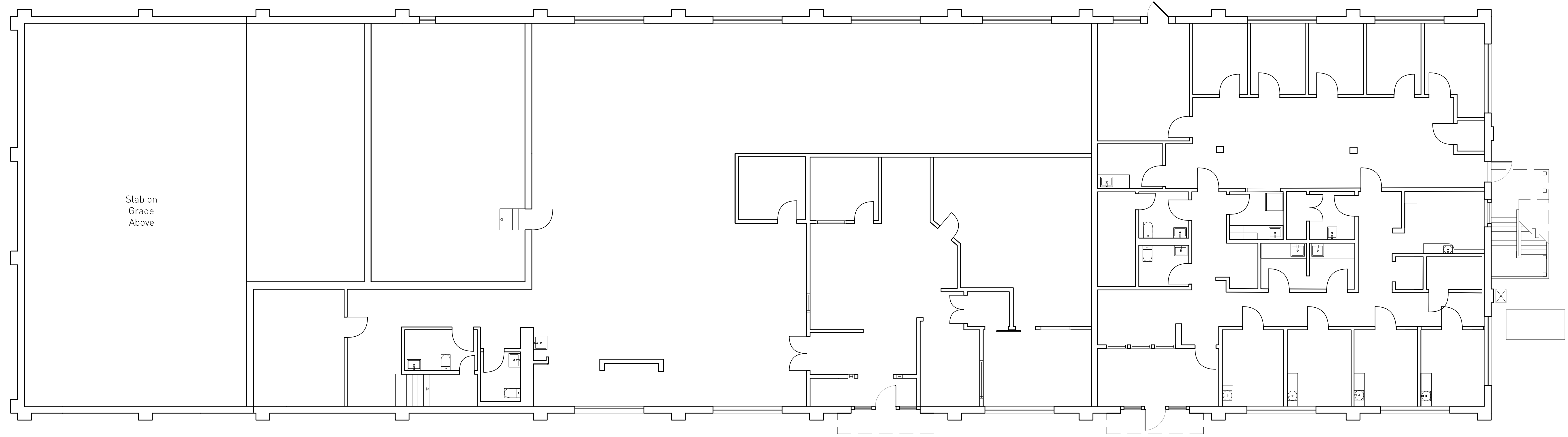
Plans and Elevations

PLANS & SPECS



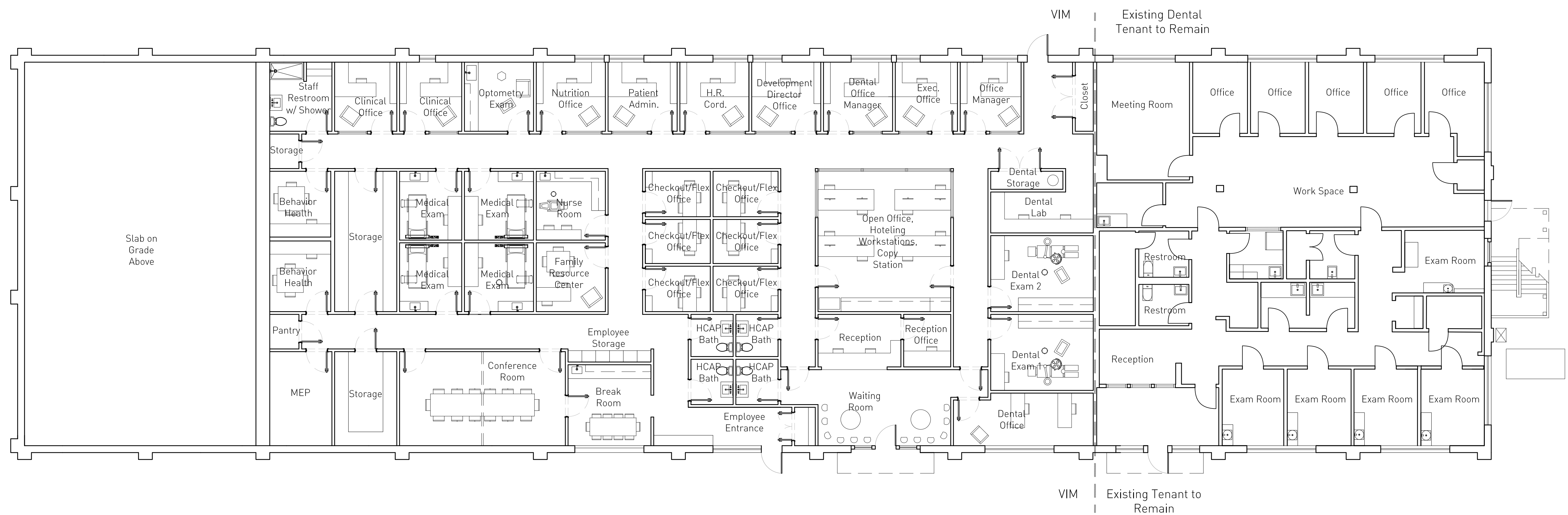
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Checked By:	MJV
Scale:	As Noted
Print Date:	5.27.21



1 Existing Lower Level Floor Plan

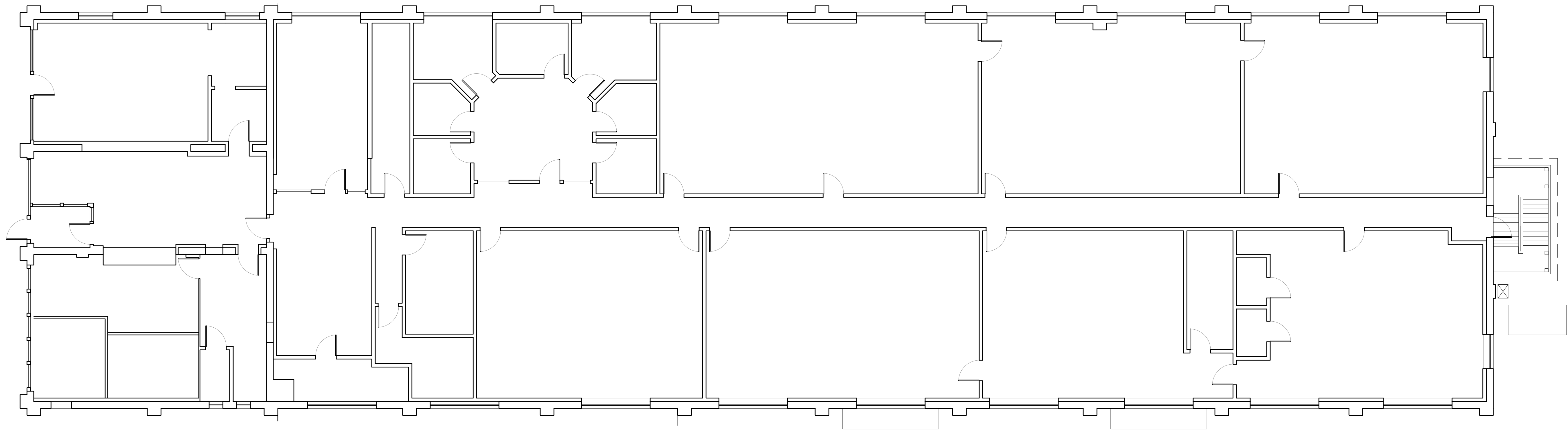
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2 Proposed Lower Level Floor Plan

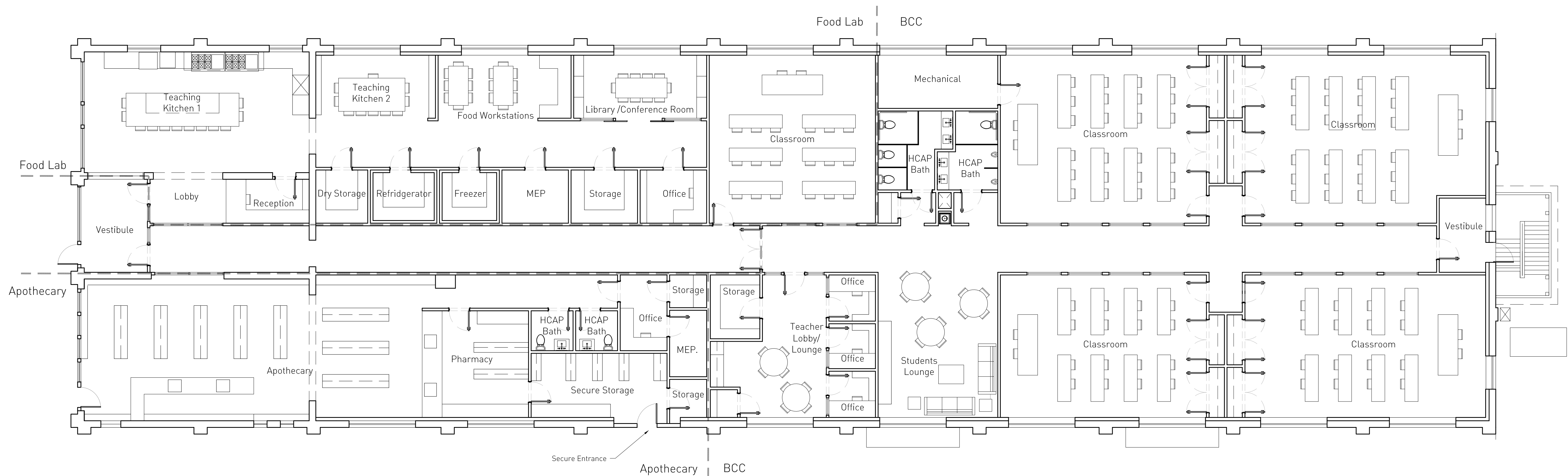
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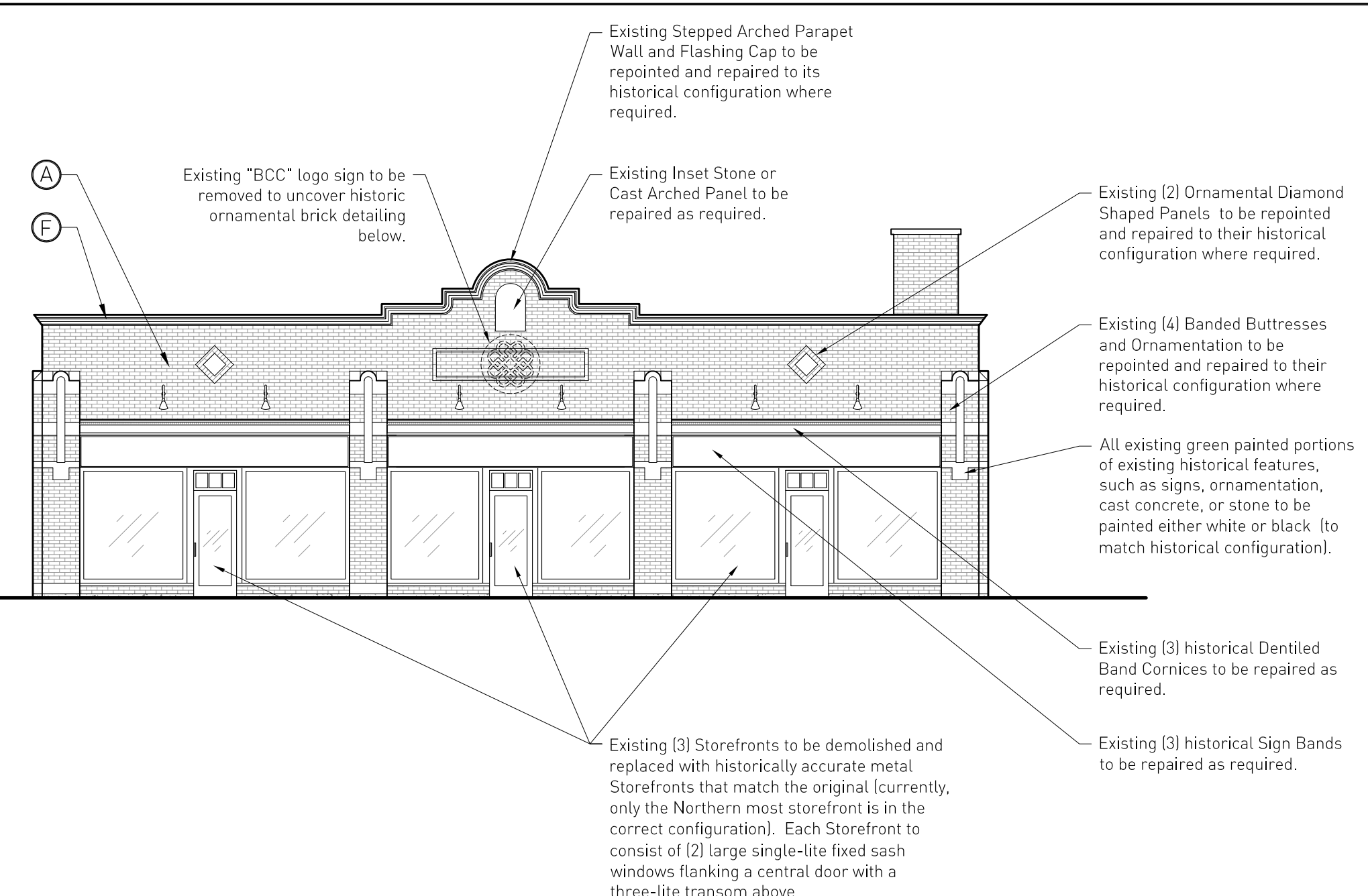
1 Existing Upper Level Floor Plan

Scale: 1/8" = 1'-0"



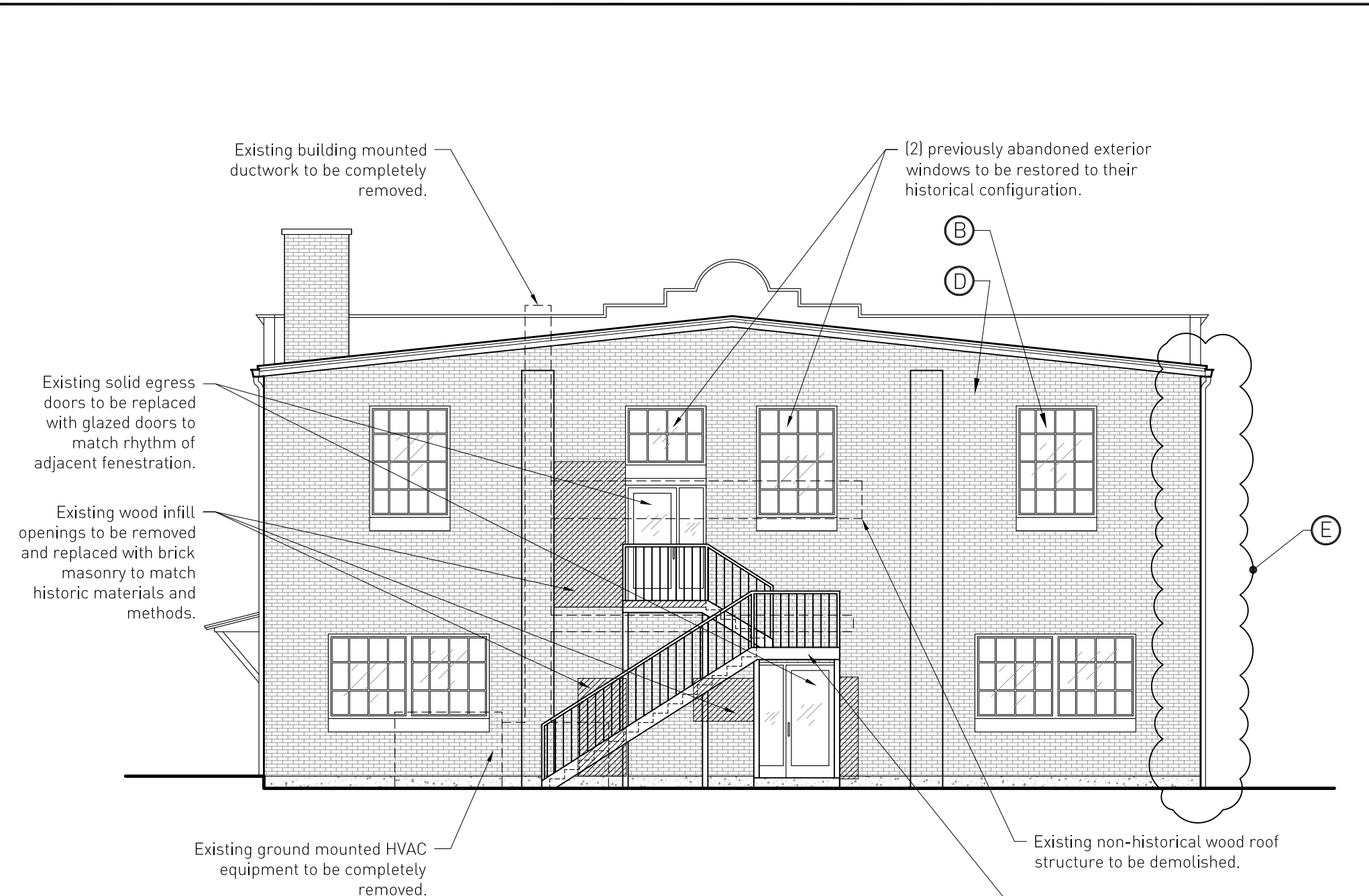
2 Proposed Upper Level Floor Plan

Scale: 1/8" = 1'-0"



1 West Elevation

Scale: 1/8" = 1'-0"



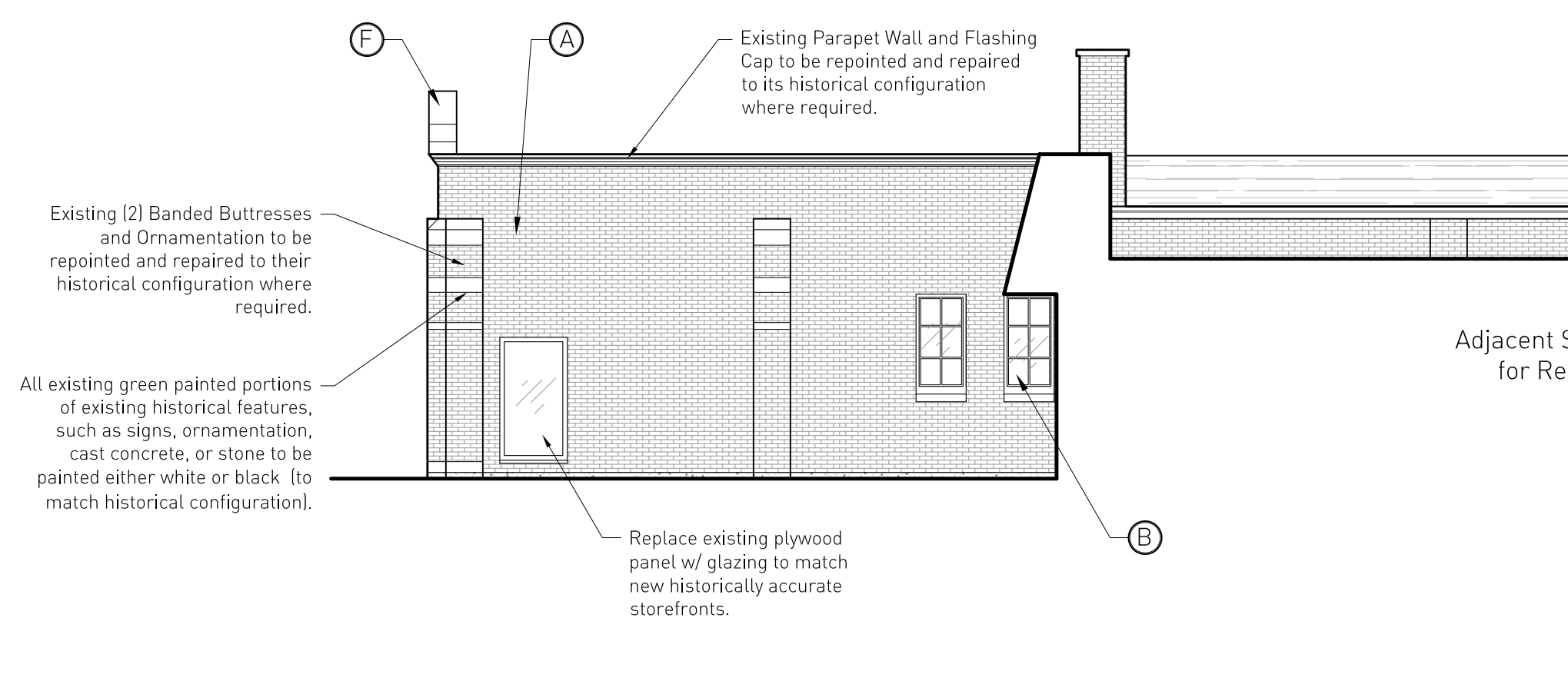
2 East Elevation

Scale: 1/8" = 1'-0"

Typical Renovation Notes Legend

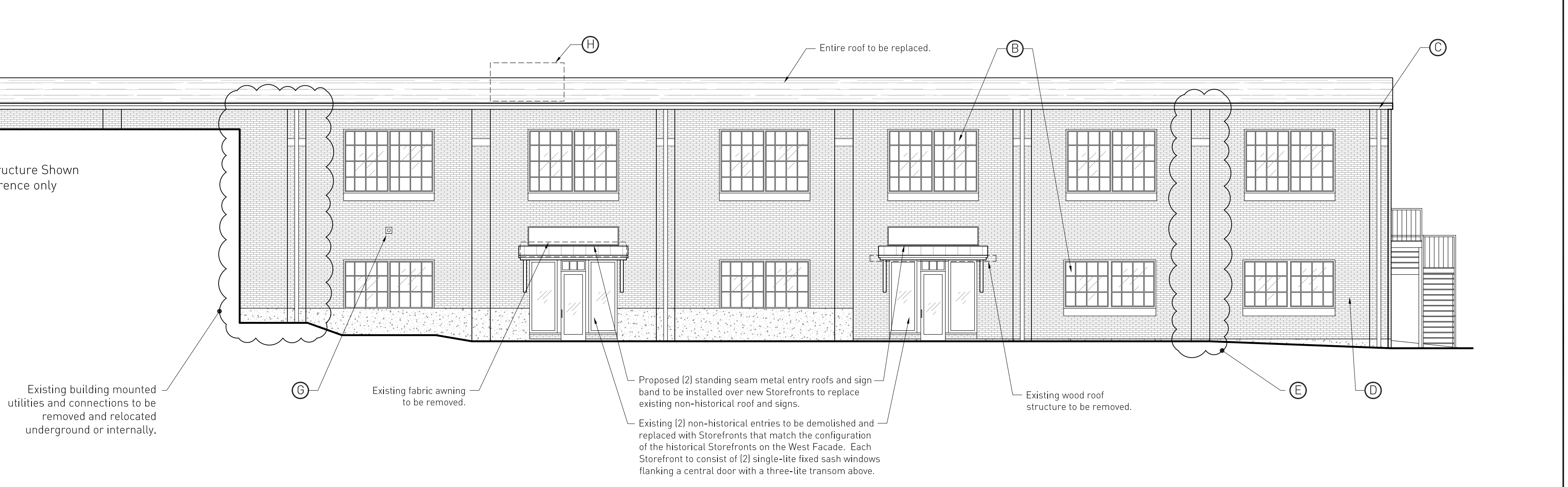
A	Repoint existing historical decorative brick w/ historically accurate materials and methods, entire facade.
B	All existing fenestrations consisting of multi-divided lite metal sash windows with cast stone sills to be replaced with new energy efficient windows with identical lite/sash patterns & operation functions. Cast stone sills to remain.
C	Existing gutters, downspouts, and water collection system to be removed and replaced to provide an engineered system that effectively collects rainwater that protects the existing masonry. Gutter and downspout locations to be minimized and constructed of historically accurate metal materials and profiles.
D	Repoint, repair, or replace existing brick masonry as required for stabilization. Replacement to only be used when brick is damaged and beyond repair.
E	Areas of significantly damaged masonry caused by water collection failure to be reconstructed to match historical masonry patterns, materials, and methods.
F	Existing parapet to be stabilized per MA Building Code code requirements.
G	Existing tensioning rods to be evaluated for structural integrity and replaces as necessary for building stabilization.
H	Existing Rooftop mounted HVAC equipment to be removed.

NOTE: ALL WORK TO BE COMPLETED IN COMPLIANCE WITH THE SECRETARY OF THE INTERIORS STANDARDS OF REHABILITATION.



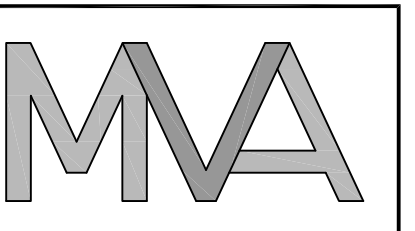
3 South Elevation

Scale: 1/8" = 1'-0"



4 North Elevation

Scale: 1/8" = 1'-0"



MVA Design & Drafting
 (315).396.1342 • Pittsfield, MA 01201
 michael@mvedesigns.com
 www.mvedesigns.com

Commercial Building Construction and Permitting Plans Prepared For:
Existing BCC South Building
 343 Main Street
 Great Barrington, MA 01230

Project ID: 210015 Initial Date: 5.25.21

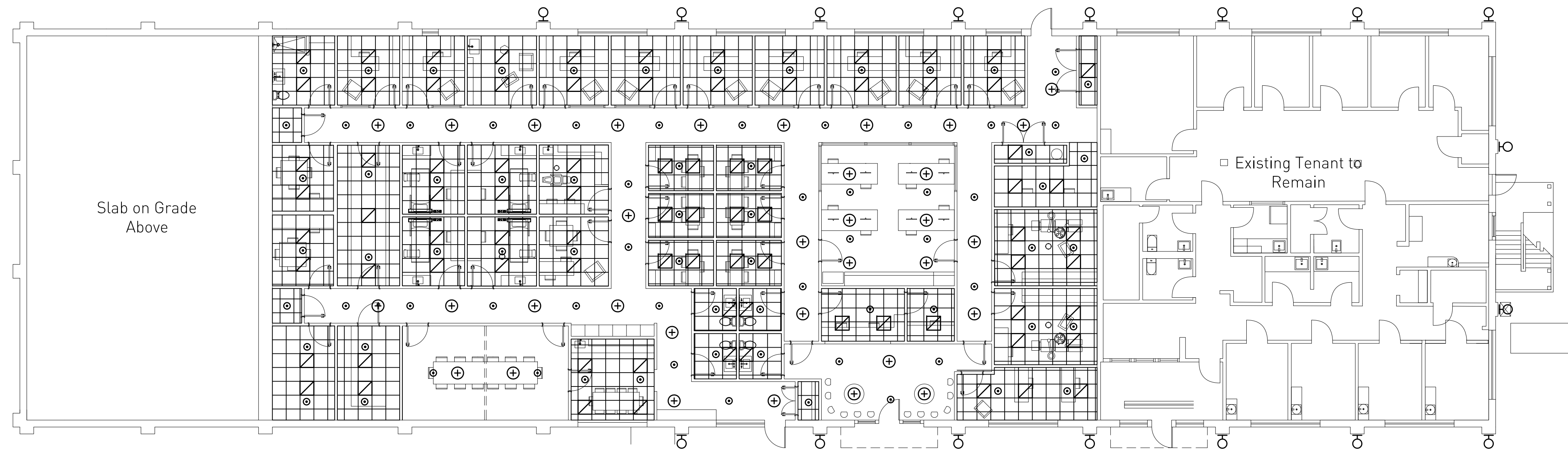
Sheet Title:
Proposed Exterior Elevations

Revisions:

Mark	Date	Notes

Sheet Information:
 Drawn By: SB&MJV
 Checked By: MJV
 Scale: As Noted
 Print Date: 12.13.21

Sheet ID:
A03



Reflected Ceiling Plan Legend

	Light Switch & Switching
	3 Way Light Switch & Switching
	Indicates Dimmer Switch
	Recessed Fixture
	Sconce / Wall Mounted Fixture
	Ceiling Mounted Fixture
	Ceiling Mounted LED Strip Light
	Ceiling Mounted Track Light
	Sprinkler Head
	Drop Ceiling Lighting Fixture
	Smoke Detector
	Combination Smoke / Carbon Monoxide [CO] Detector

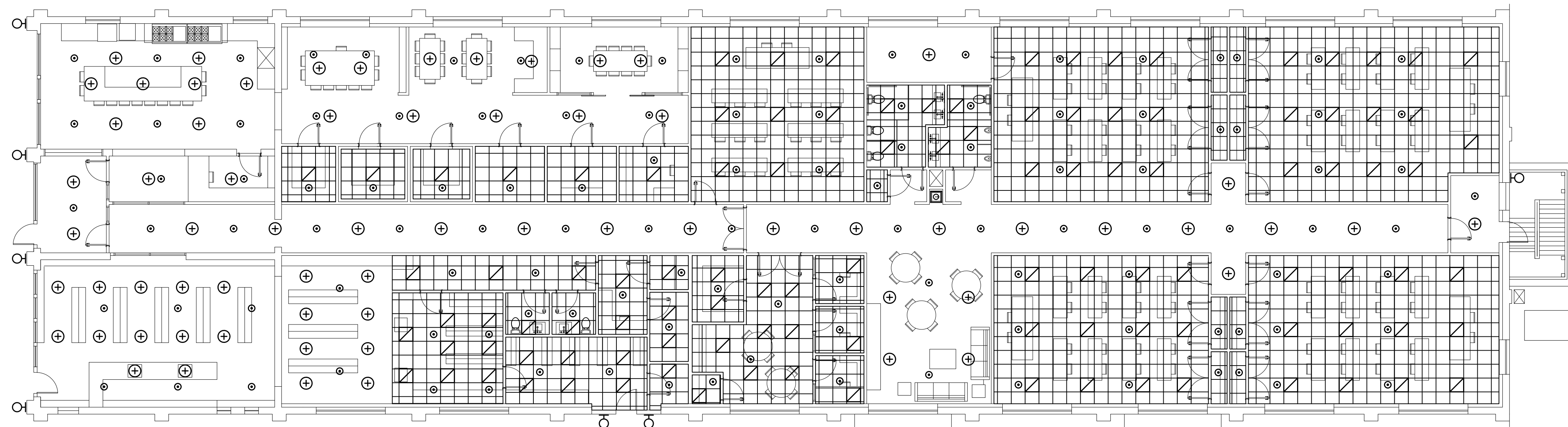
Reflected Ceiling Plan Notes

1. ALL ELEC. WORK TO BE PERFORMED BY LICENSED ELEC. CONTRACTOR IN CONFORMANCE W/ ALL APPLICABLE BLDG. CODES.
2. PROVIDE ELEC. SERVICES AS REQ'D FOR LIGHT FIXTURES AS PER MANF. RECOMMENDATIONS.
3. GC TO PROVIDE AND INSTALL CONDUIT, BOXES, RECESSED FIXTURES, BULBS, TRANSFORMERS & ALL OTHER MATERIALS NOT SPEC'D TO BE PROVIDED BY OWNER OR FACTORY.
4. OWNER TO PROVIDE ALL SWITCHES, DIMMERS, AND SURFACE FIXTURES (PER ALLOWANCES).
5. PROVIDE, COORD. & INSTALL ALL REQ'D REMOTE TRANSFORMERS FOR LIGHTING AS SPEC. BY MANF., EXACT LOCATIONS TO BE COORD. IN FIELD W/ ARCH.
6. TRANSFORMERS MUST BE ACCESSIBLE. ELECTRICIAN TO CONFIRM COMPATIBILITY OF TRANSFORMER W/ LIGHT FIXTURE & DIMMER/SWITCH/CONTROL.
7. COORD. LIGHTING & SWITCH LOCATIONS W/ MILLWORK. LINEAR LIGHTING TO RUN CONT. END TO END UNDER CABINETS.
8. REF. INTERIOR ELEVATIONS FOR EXACT LOCATIONS OF SWITCHES & FIXTURES. GANG SWITCHES & RECEPTACLES IN SINGLE PLATE WHEREVER MULTIPLE EXIST. IF ANY DEVICE IS NOT CLEARLY LOCATED, CONFIRM LOCATION W/ ARCH. ALL SWITCHES TO BE VERTICALLY ALIGNED W/ OUTLETS U.O.N., IN CASE OF CONFLICT, VERIFY LOCATION OF LIGHT FIXTURES & SWITCHES W/ ARCH.
10. ALL SYMBOLS & DIAGRAMS ARE NOT TO SCALE.
11. ALL SPEAKER WIRING TO BE 14 GA. OR BETTER.

SWITCHES

1. MANUF., OWNER, & ELECTRICIAN TO PROVIDE COMPATIBLE DRIVERS & DIMMERS/CONTROLS AS REQ'D. FOR LIGHT FIXTURES PER MANF. SPEC. TO ALLOW FOR MAX. DIMMING CAPABILITY OF FIXTURES.
2. ALL NEW GWB SET RECEPTACLES AND SWITCH COVER PLATES TO BE LUTRON CLARO, WHITE. MAXIMIZE FACEPLATE GANGING.
3. ALL NEW FLOOR, TILE, OR MILLWORK SET RECEPTACLES AND SWITCH COVER PLATES TO BE LUTRON CLARO, METAL SATIN NICKEL. MAXIMIZE FACEPLATE GANGING.
4. ALL NEW SWITCHES & DIMMERS BY OWNER, WHITE. COORD. LIGHT TYPE W/ COMPATIBLE SWITCH SPEC.

1 Proposed Lower Level RCP Plan



2 Proposed Upper Level RCP Plan

Scale: 3/32" = 1'-0"

MA

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 (315).396.1342 • Pittsfield, MA 01201
 michael@mvadesigns.com

Commercial Building Plans Prepared For:

BCC Building
 345 Main Street
 Great Barrington, MA 01230

Project ID: 210015 Initial Date: 5.25.21

Sheet Title:
Proposed RCP Plans

Revisions:

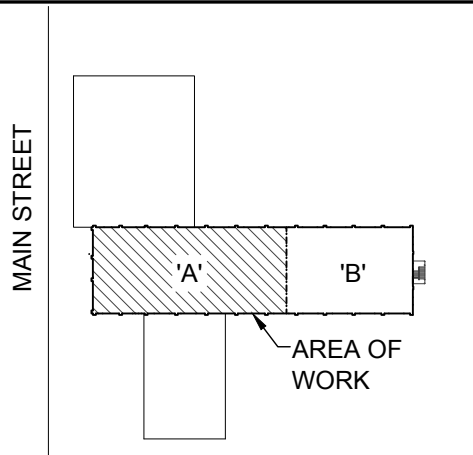
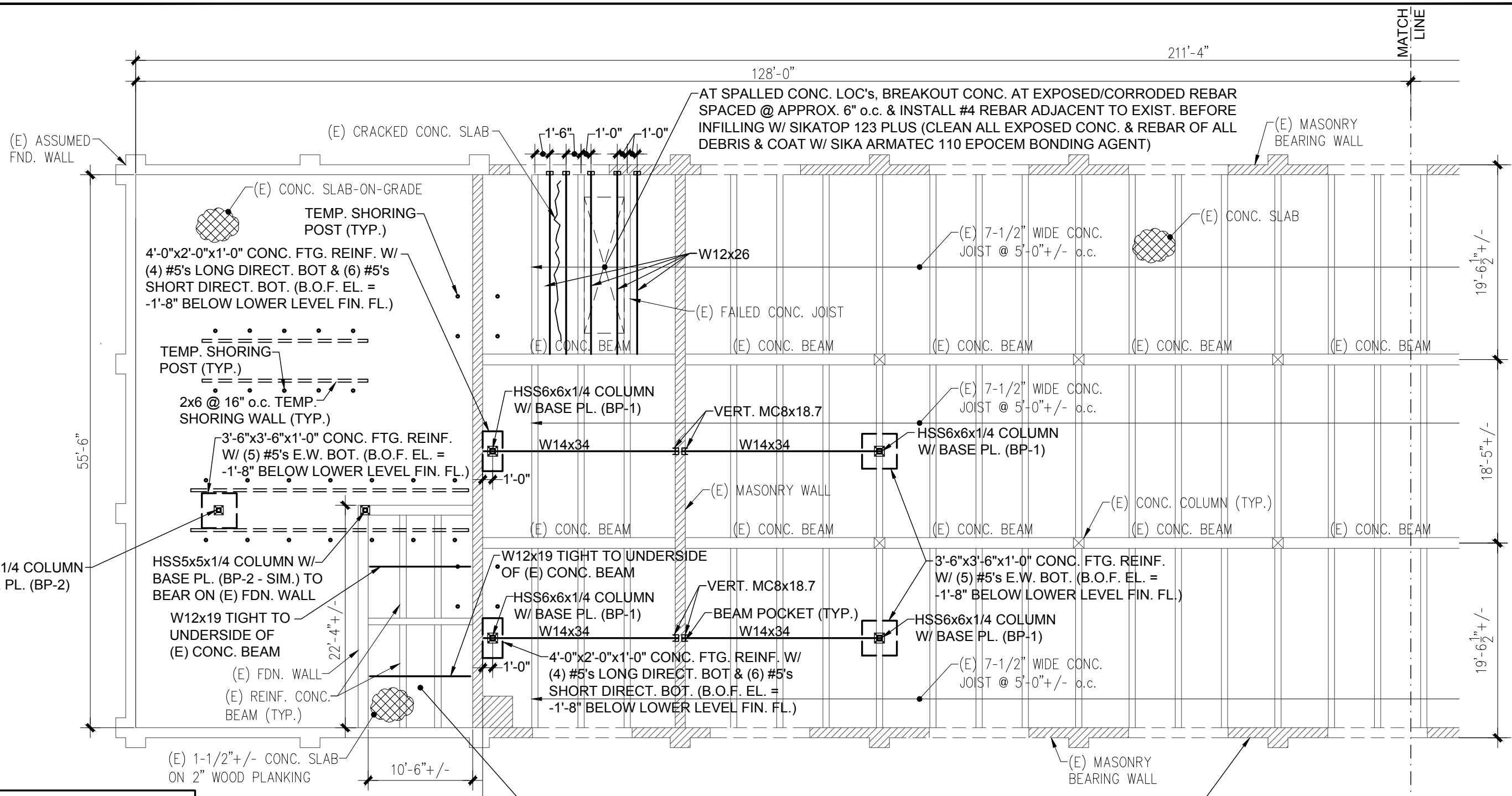
Mark	Date	Notes

Sheet Information:

Drawn By: SB
 Checked By: MJV
 Scale: As Noted
 Print Date: 5.27.21

Sheet ID:

E01



KEY PLAN
NOT TO SCALE

NOTES :

- 1.) (E) INDICATES EXISTING, OTHERWISE NEW.
- 2.) FIELD VERIFY ALL EXISTING DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- 3.) VERIFY ALL NEW DIMENSIONS AND ELEVATIONS WITH EXISTING CONDITIONS AND ARCHITECT.
- 4.) G.C. TO DESIGN AND INSTALL TEMPORARY SHORING AS REQUIRED TO PERFORM THE WORK INDICATED (SHORING POSTS MUST BE CONTINUOUS DOWN TO THE LOWEST LEVEL AND BEAR ON (3) 2x12 x 6'-0" LONG MINIMUM FLAT SLEEPERS).
- 5.) G.C. TO RELOCATE ALL EXISTING CONDUITS, DUCTS, PIPES, OUTLETS, SWITCHES, ETC. AS REQUIRED TO PERFORM THE WORK INDICATED (NOT SHOWN FOR CLARITY).

MAIN LEVEL FRAMING PLAN 'A'

SCALE: 3/32" = 1'-0"

G.C. TO CARRY UNIT COST TO REPAIR ALL SPALLED CONC. ALONG UNDERSIDE OF (E) CONC. SLAB & ALONG (E) CONC. JOISTS/BEAMS W/ SIKATOP 123 PLUS (REMOVE ALL LOOSE CONC. BACK TO SOUND MATERIAL, CLEAN TO REMOVE ALL DEBRIS, & COAT W/ SIKA ARMATEC 110 EPOCEM BONDING AGENT PRIOR TO PATCHING W/ SIKATOP 123 PLUS) - AT LOC'S OF EXPOSED REBAR, REMOVE CONC. 1/2" MIN. CLEAR AROUND REBAR, CLEAN REBAR OF ALL DEBRIS & CORROSION, & COAT W/ SIKA ARMATEC 110 EPOCEM BONDING AGENT.

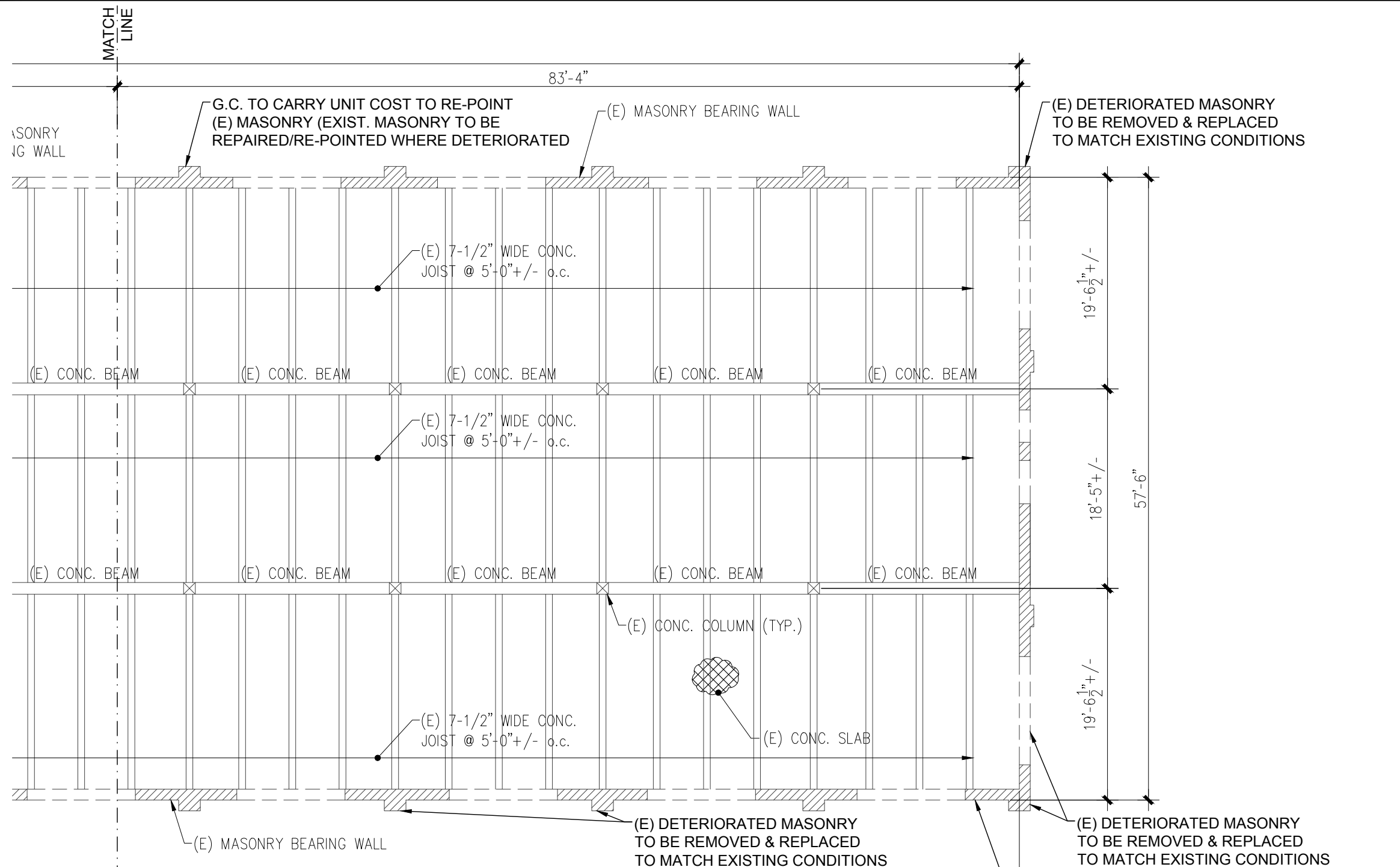
G.C. TO CARRY UNIT COST TO RE-POINT (E) MASONRY (EXIST. MASONRY TO BE RE-POINTED/REPLACED WHERE DETERIORATED)

JSE
Johnson Structural Engineering
101 Huntton Memorial Highway (Rt. 56)
Rochdale, Massachusetts 01542
phone: (508) 892-4884 fax: (508) 892-0477

Main Level Framing Plan 'A'
BCC - South County Center
343 Main Street
Great Barrington, MA

scale: As Noted	date: 05.22.2019	designed by: TPA	checked by: RAJ
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SK-S1



G.C. TO CARRY UNIT COST TO RE-POINT (E) MASONRY (EXIST. MASONRY TO BE REPAIRED/RE-POINTED WHERE DETERIORATED)

(E) MASONRY BEARING WALL

(E) DETERIORATED MASONRY TO BE REMOVED & REPLACED TO MATCH EXISTING CONDITIONS

(E) 7-1/2" WIDE CONC. JOIST @ 5'-0" +/- o.c.

(E) CONC. BEAM

(E) 7-1/2" WIDE CONC. JOIST @ 5'-0" +/- o.c.

(E) CONC. BEAM

(E) CONC. BEAM

(E) CONC. BEAM

(E) CONC. BEAM

(E) CONC. BEAM

(E) CONC. COLUMN (TYP.)

(E) 7-1/2" WIDE CONC. JOIST @ 5'-0" +/- o.c.

(E) CONC. SLAB

(E) MASONRY BEARING WALL

(E) DETERIORATED MASONRY TO BE REMOVED & REPLACED TO MATCH EXISTING CONDITIONS

(E) DETERIORATED MASONRY TO BE REMOVED & REPLACED TO MATCH EXISTING CONDITIONS

G.C. TO CARRY UNIT COST TO RE-POINT (E) MASONRY (EXIST. MASONRY TO BE RE-POINTED/REPLACED WHERE DETERIORATED)

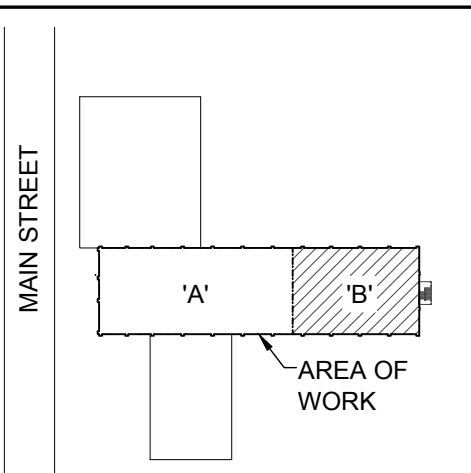
G.C. TO CARRY UNIT COST TO REPAIR ALL SPALLED CONC. ALONG UNDERSIDE OF (E) CONC. SLAB & ALONG (E) CONC. JOISTS/BEAMS W/ SIKATOP 123 PLUS (REMOVE ALL LOOSE CONC. BACK TO SOUND MATERIAL, CLEAN TO REMOVE ALL DEBRIS, & COAT W/ SIKA ARMATEC 110 EPOCEM BONDING AGENT PRIOR TO PATCHING W/ SIKATOP 123 PLUS) - AT LOC'S OF EXPOSED REBAR, REMOVE CONC. 1/2" MIN. CLEAR AROUND REBAR, CLEAN REBAR OF ALL DEBRIS & CORROSION, & COAT W/ SIKA ARMATEC 110 EPOCEM BONDING AGENT.

NOTES :

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MAIN LEVEL FRAMING PLAN 'B'

SCALE: 3/32" = 1'-0"



KEY PLAN

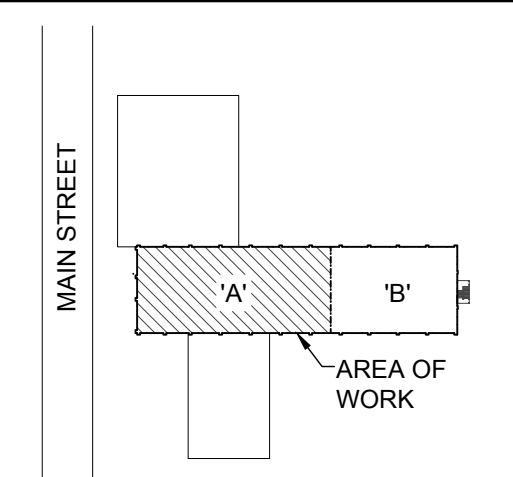
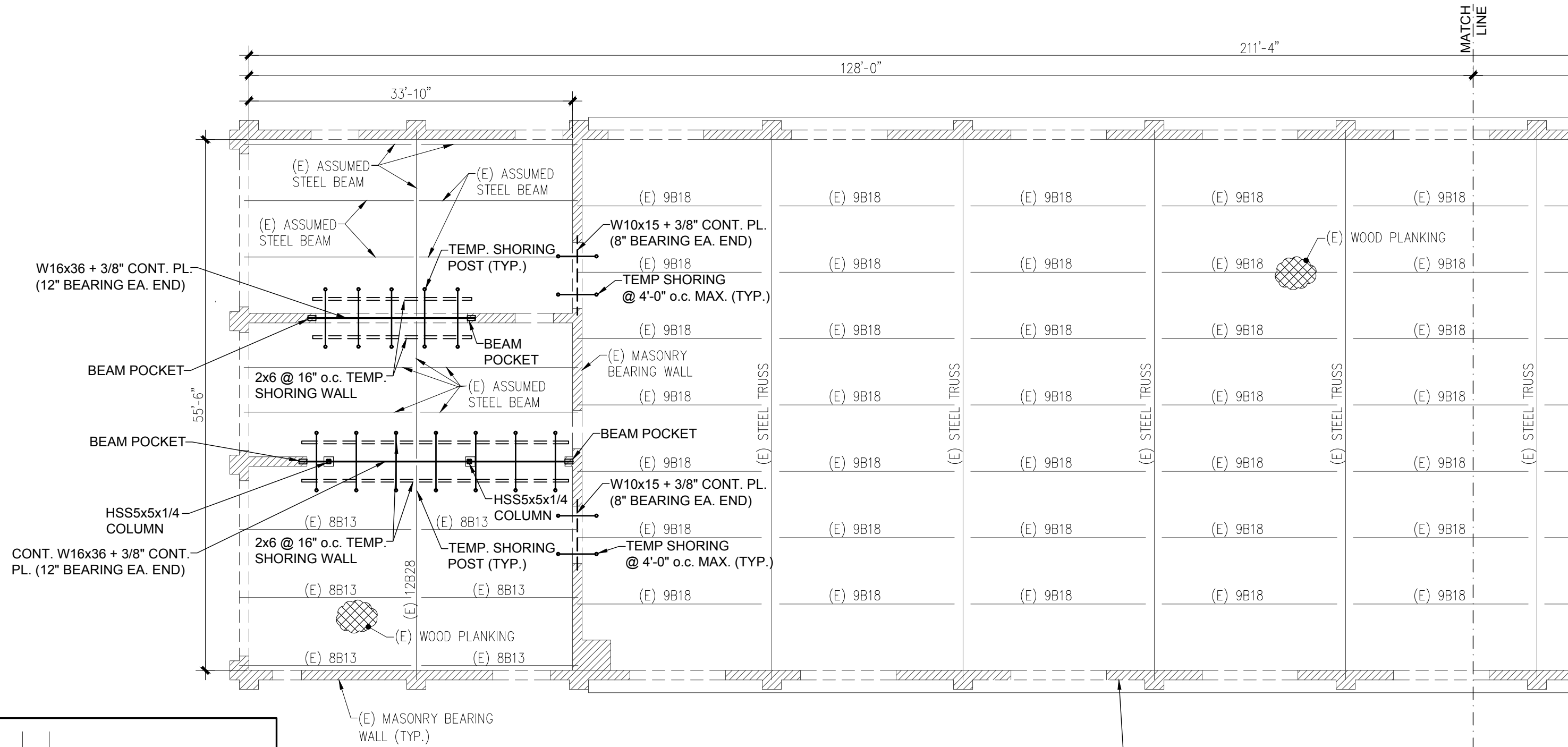
NOT TO SCALE

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 Rochdale, Massachusetts 01542
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Main Level Framing Plan 'B'
BCC - South County Center
 343 Main Street
 Great Barrington, MA

scale: As Noted	date: 05.22.2019	designed by: TPA	checked by: RAJ
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SK-S2



KEY PLAN
NOT TO SCALE

NOTES :

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- 5.) G.C. TO RELOCATE ALL EXISTING CONDUITS, DUCTS, PIPES, OUTLETS, SWITCHES, ETC. AS REQUIRED TO PERFORM THE WORK INDICATED (NOT SHOWN FOR CLARITY).
- 6.) WALL TIES ARE REQUIRED SPACED AT 4'-0" o.c. ALONG ALL EXISTING EXTERIOR AND INTERIOR MASONRY WALLS (SEE THE TYPICAL DETAIL FOR ADDITIONAL INFORMATION).

ROOF FRAMING PLAN 'A'

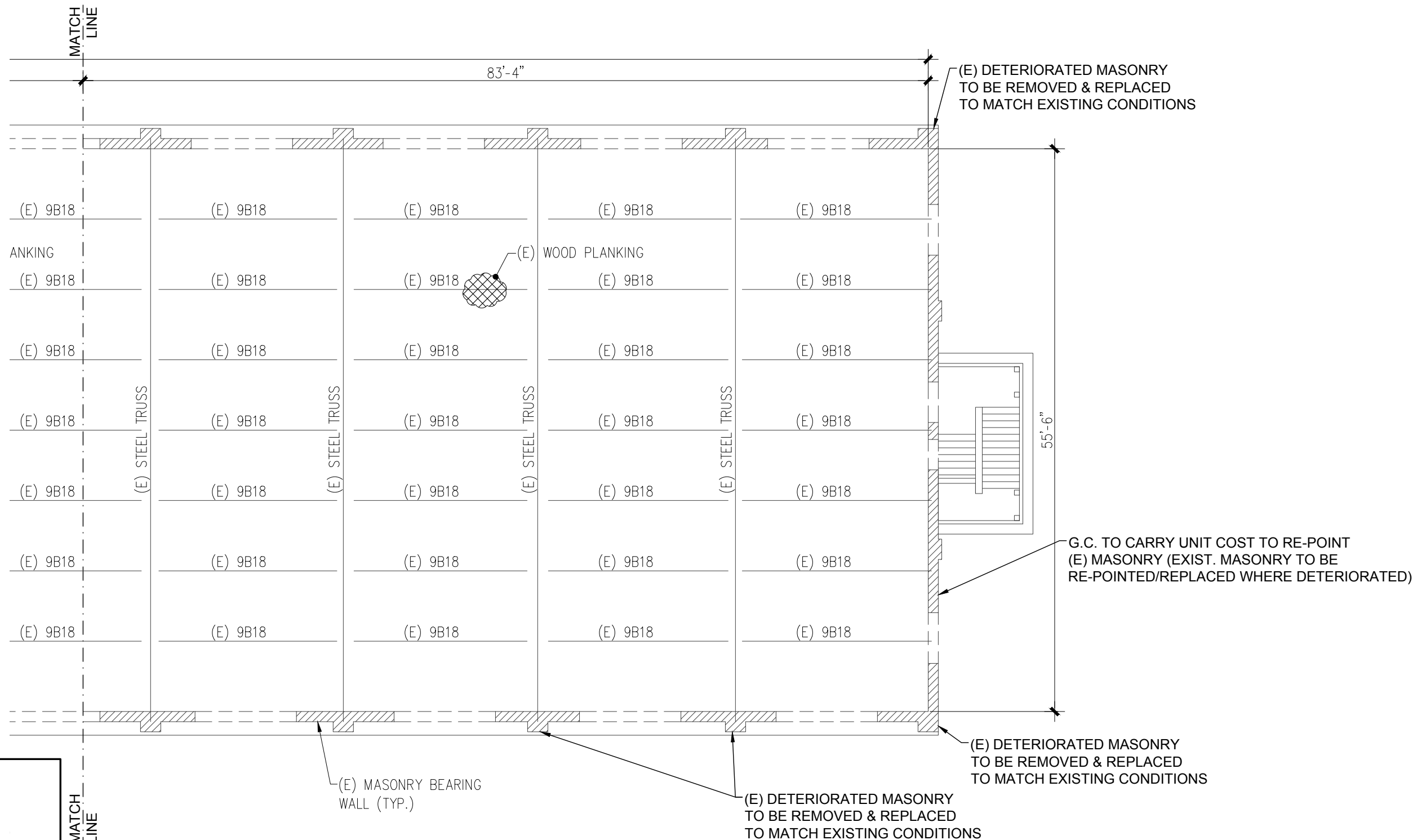
SCALE: 3/32" = 1'-0"

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Roof Framing Plan 'A'
BCC - South County Center
343 Main Street
Great Barrington, MA

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SK-S3

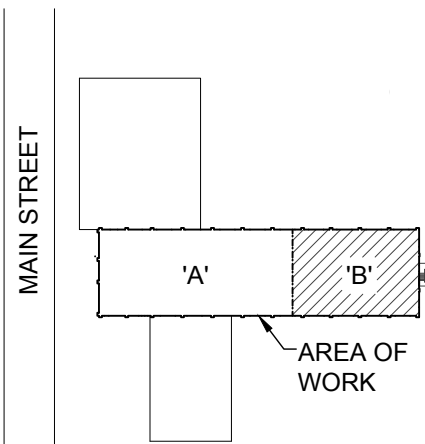


NOTES :

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- 6.) WALL TIES ARE REQUIRED SPACED AT 4'-0" o.c. ALONG ALL EXISTING EXTERIOR AND INTERIOR MASONRY WALLS (SEE THE TYPICAL DETAIL FOR ADDITIONAL INFORMATION).

ROOF FRAMING PLAN 'B'

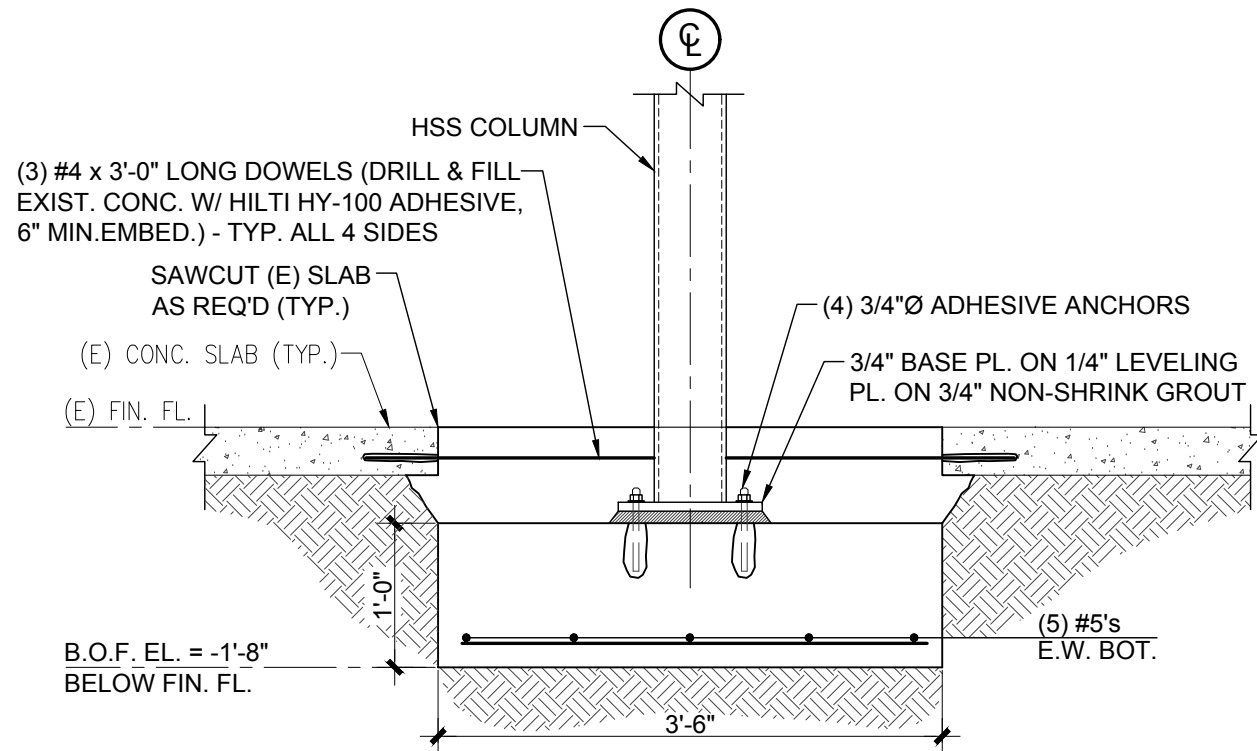
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KEY PLAN

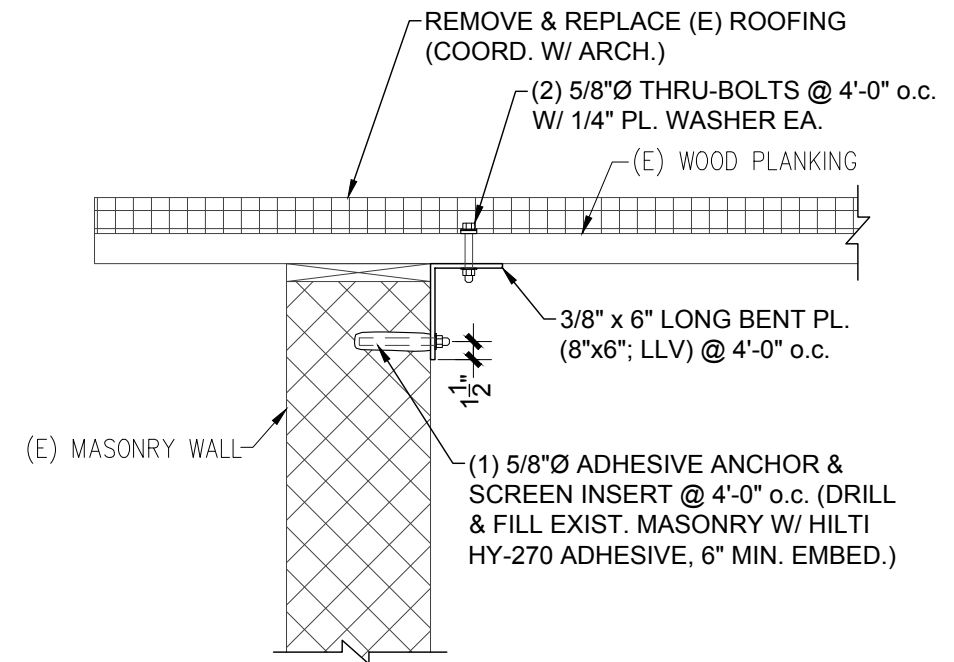
NOT TO SCALE

JSE Johnson Structural Engineering 101 Huntton Memorial Highway (Rt. 56) Rochdale, Massachusetts 01542 phone: (508) 892-4884 fax: (508) 892-0477	
Roof Framing Plan 'B' BCC - South County Center 343 Main Street Great Barrington, MA	SK-S4
scale: As Noted date: 05.22.2019 designed by: TPA checked by: RAJ	



REINFORCED CONCRETE FOOTING DETAIL

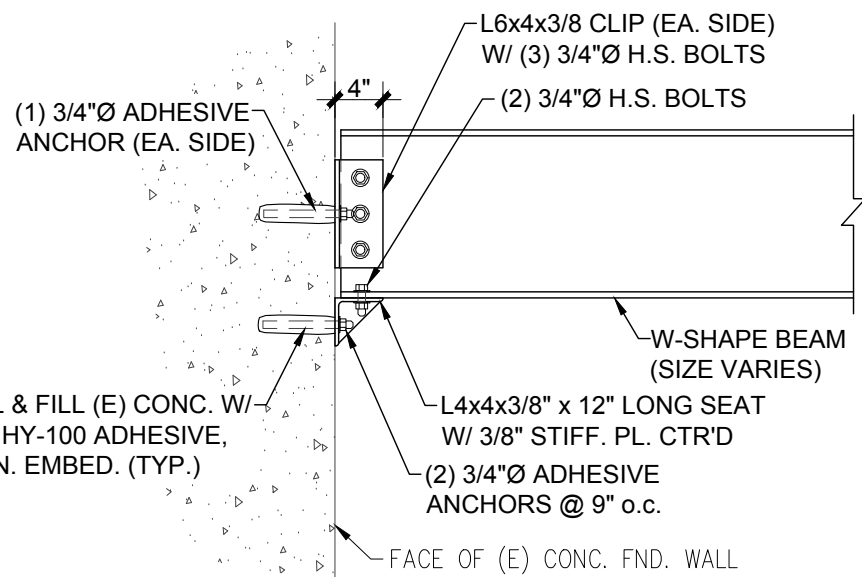
SCALE: 3/4" = 1'-0"



NOTE:
DETAIL IS APPLICABLE ALONG ALL EXTERIOR AND INTERIOR MASONRY WALLS AT THE ROOF LEVEL.

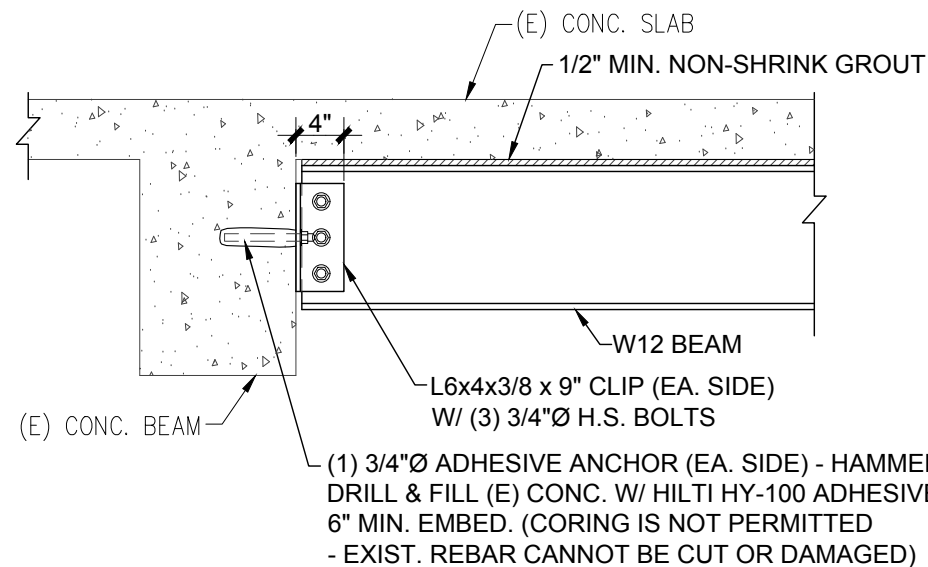
WALL TIE DETAIL

SCALE: 3/4" = 1'-0"



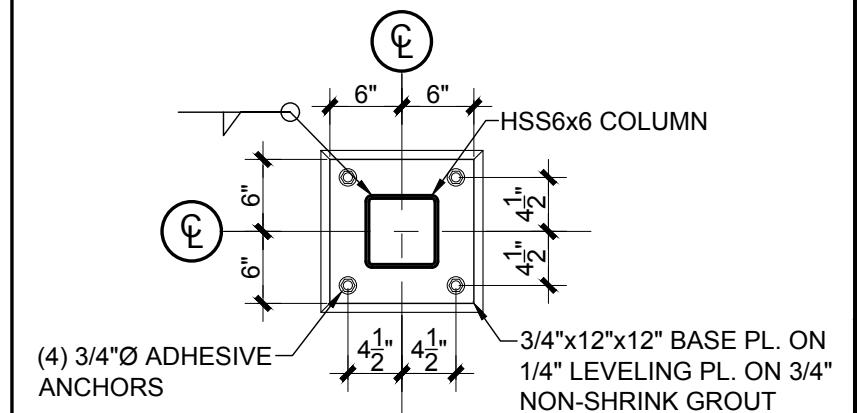
STEEL BEAM TO EXISTING CONCRETE FOUNDATION WALL CONNECTION DETAIL

SCALE: 3/4" = 1'-0"



STEEL BEAM TO EXISTING CONCRETE BEAM CONNECTION DETAIL

SCALE: 3/4" = 1'-0"



BASE PLATE DETAIL (BP-1)

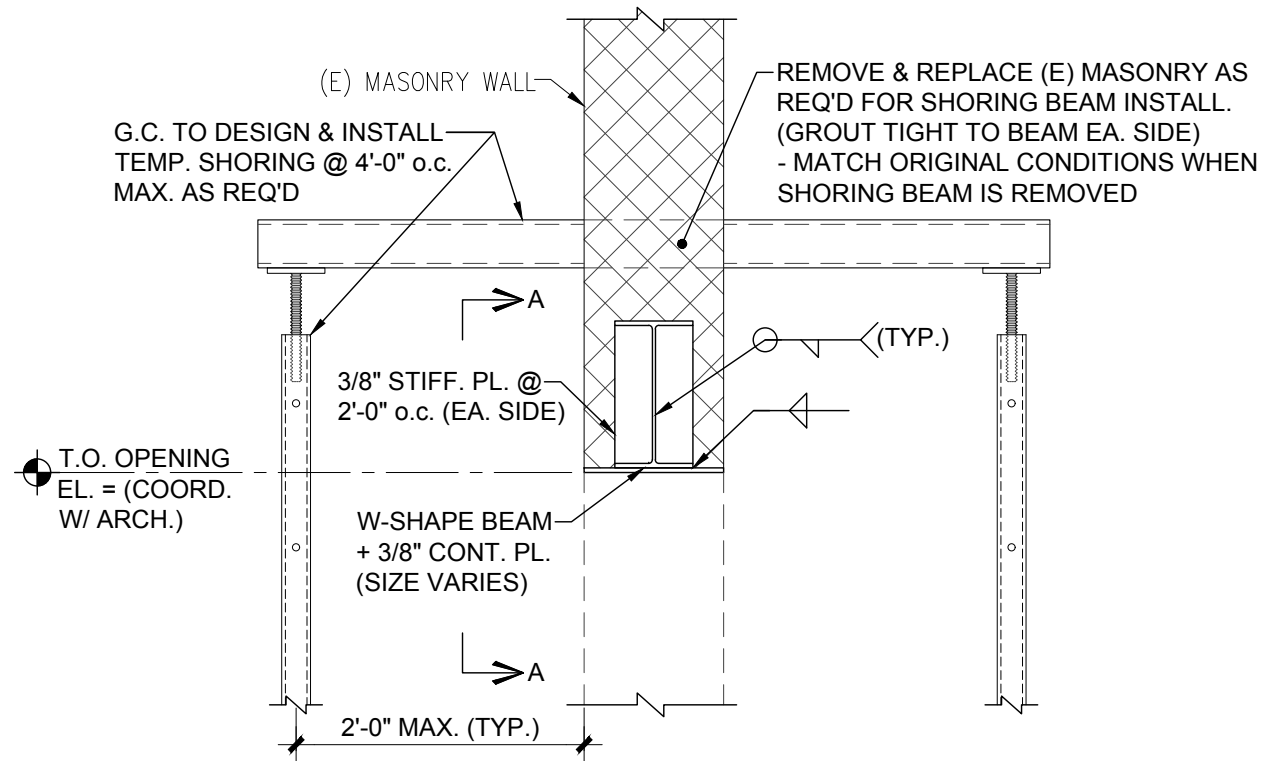
SCALE: 3/4" = 1'-0"

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Typical Details
BCC - South County Center
343 Main Street
Great Barrington, MA

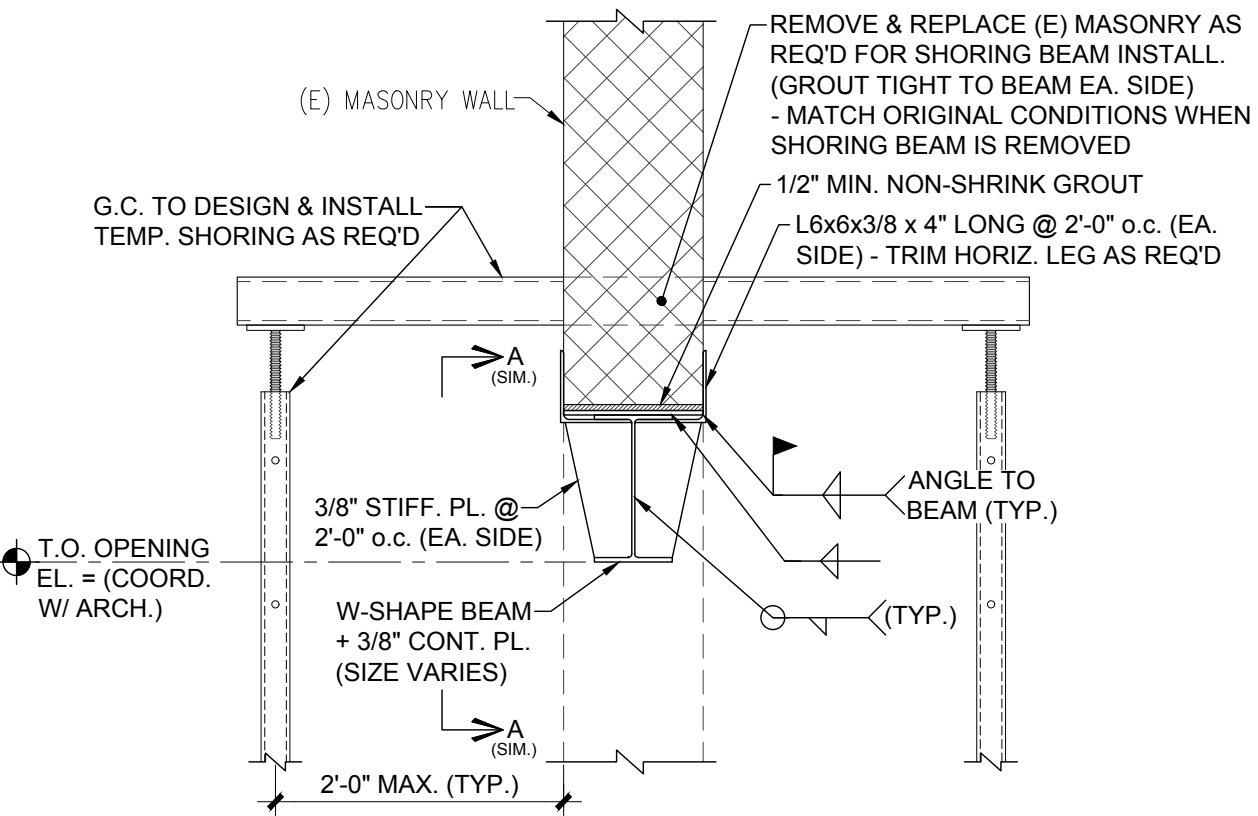
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date: 05.22.2019
designed by: TPA
checked by: RAJ

SK-S5



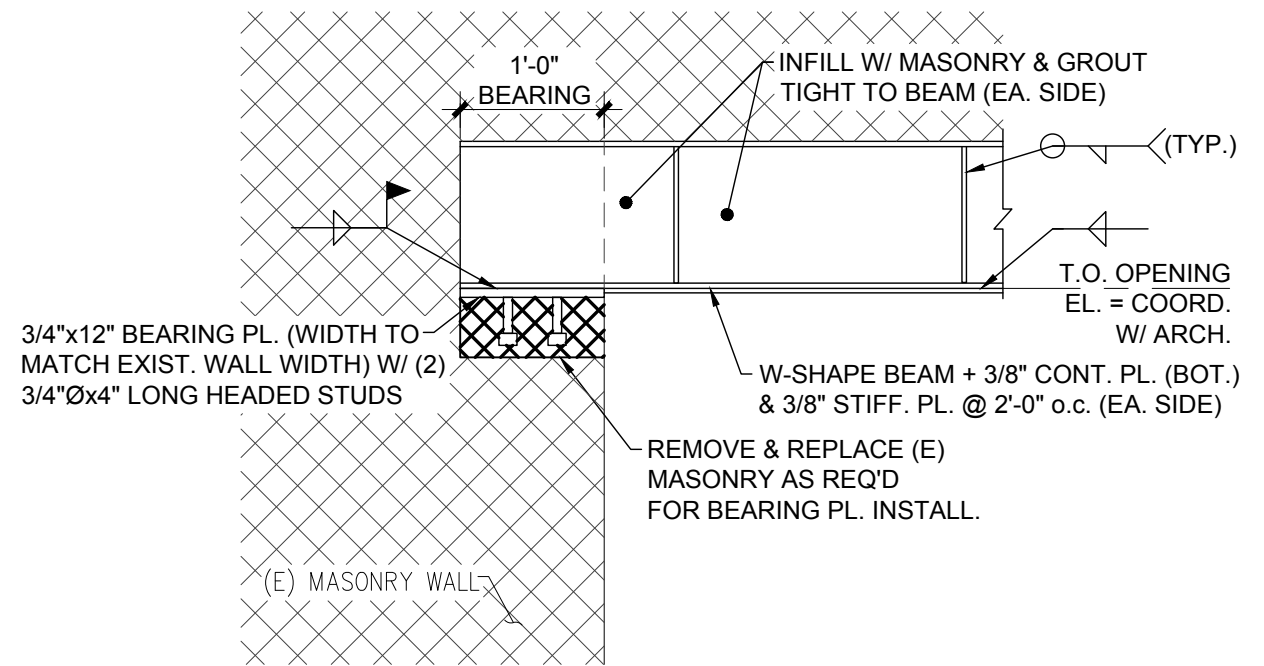
TYPICAL W-SHAPE LINTEL DETAIL #1

SCALE: 3/4" = 1'-0"



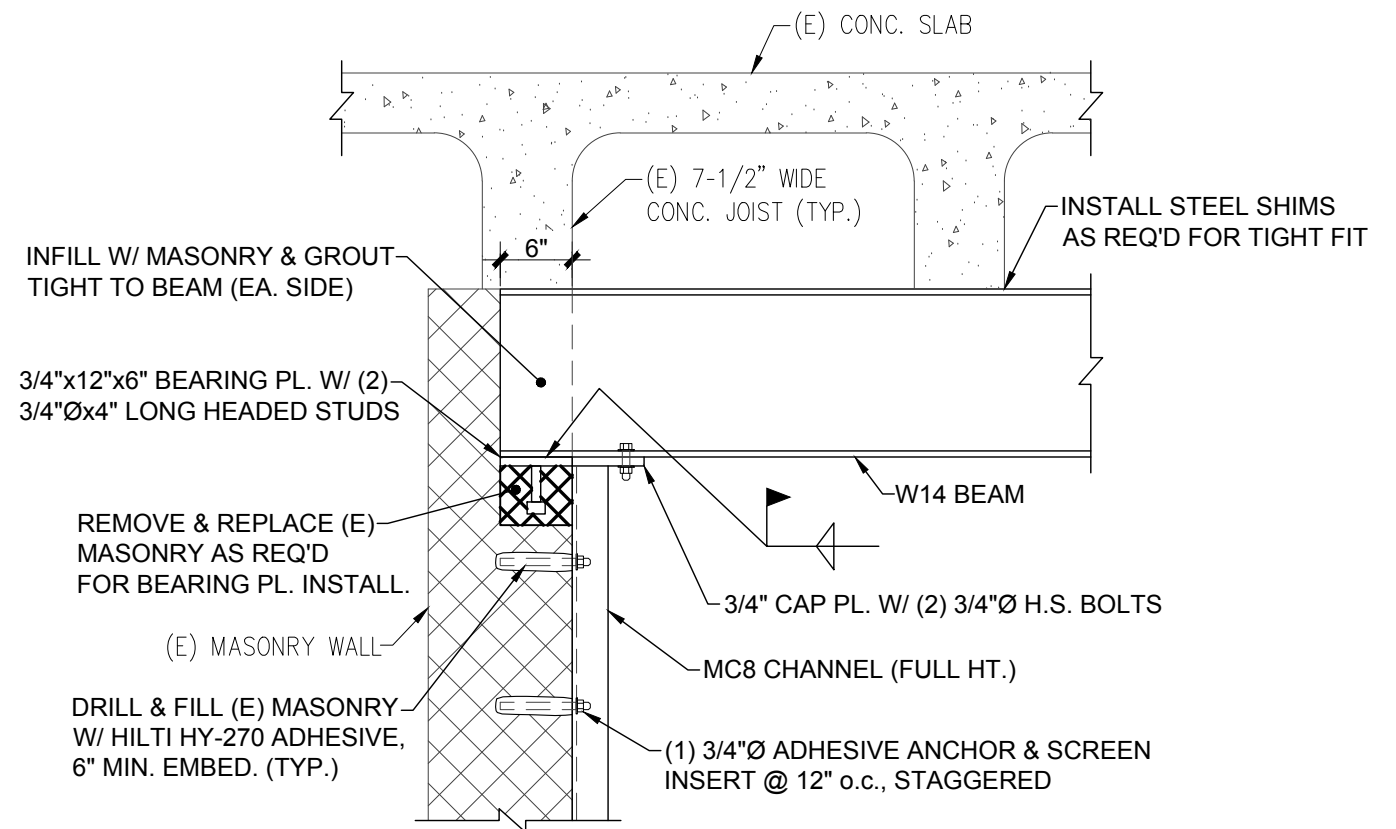
TYPICAL W-SHAPE LINTEL DETAIL #2

SCALE: 3/4" = 1'-0"



SECTION A-A

SCALE: 3/4" = 1'-0"



NOTE:
MC8 CHANNEL SHALL INCLUDE 3/4" BASE PLATE ON 1" MINIMUM NON-SHRINK GROUT. BASE PLATE SHALL INCLUDE (2) 3/4" Ø ADHESIVE ANCHORS (DRILL AND FILL EXISTING CONCRETE WITH HILTI HY-100 ADHESIVE, 4" MINIMUM EMBEDMENT).

**BEAM MASONRY BEARING
DETAIL WITH MC8 CHANNEL**

SCALE: 3/4" = 1'-0"

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Typical Details
BCC - South County Center
343 Main Street
Great Barrington, MA

scale: As Noted
date: 05.22.2019
designed by: TPA
checked by: RAJ

SK-S6

GENERAL NOTES

A - CODES:

- 780 CMR (MASSACHUSETTS STATE BUILDING CODE, 9th. EDITION)
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)
- AMERICAN CONCRETE INSTITUTE (ACI)
- CONCRETE REINFORCING STEEL INSTITUTE (CRSI)

B - DESIGN LOADS:

- SNOW LOAD:

GROUND SNOW LOAD	50 psf
EXPOSURE FACTOR	1.0
THERMAL FACTOR	1.0
RISK CATEGORY	II
DESIGN SNOW LOAD	40 psf
- FLOOR LIVE LOADS:

KITCHEN AREAS	100 psf
---------------	---------

C - STRUCTURAL STEEL:

- ALL STRUCTURAL STEEL TO COMPLY WITH ASTM REQUIREMENTS AS FOLLOWS:

W-SHAPES	A992	fy = 50 ksi
HSS TUBES	A500	fy = 46 ksi
ALL OTHERS	A36	fy = 36 ksi
- BOLTED CONNECTIONS TO BE MADE WITH SLIP CRITICAL CONNECTION AS PER ASTM-325.
- MINIMUM THICKNESS OF CONNECTING ANGLES TO BE 3/8".
- LEVELING PLATES TO BE 1/4" THICK, SAME SIZE AS BASE PLATE.
- ALL EXPOSED WELDING SHALL BE GROUND SMOOTH.
- ALL MISALIGNED BOLT HOLES IN STRUCTURAL STEEL SHALL BE PLUG WELDED SOLID AND REDRILLED FOR SPECIFIED BOLTS.
- G.C. SHALL VERIFY IN WRITING THAT ALL BOLTED CONNECTIONS ARE COMPLETED AS SPECIFIED, AS PER CURRENT AISC STANDARDS AND HAVE BEEN TORQUE-TESTED ACCORDING TO AISC SPECIFICATIONS BEFORE LOADS ARE APPLIED.
- ALL UNUSED BOLT HOLES SHALL BE PLUG WELDED SOLID AND GROUND SMOOTH.
- ALL WELDING (IN SHOP & FIELD) SHALL COMPLY WITH LATEST AWS STANDARDS AND SHALL BE COMPLETED BY AN AWS-CERTIFIED WELDER.
- UNLESS OTHERWISE NOTED, ALL STRUCTURAL STEEL SHALL BE PAINTED WITH ONE SHOP COAT OF TNEMEC 99G METAL PRIMER OR EQUAL. COLOR TO BE GREY.

D - STEEL LINTELS:

- STEEL LINTELS AT ALL MASONRY OPENINGS, DOORS, WINDOWS, RECESSES, DUCTS, VENTS, ETC. (FURNISHED UNDER MISCELLANEOUS METALS) SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

OPENING WIDTH	LINTEL / 4" WIDTH OF MASONRY
0'-0" -- 4'-0"	L4 x 3-1/2 x 5/16
4'-1" -- 6'-0"	L5 x 3-1/2 x 5/16
6'-1" -- 8'-0"	L6 x 3-1/2 x 5/16
- BEARING OF LINTELS ON WALL TO BE 8" MINIMUM. GROUT 3 CELLS (MIN.) SOLID BELOW FOR BEARING.
- ALL EXTERIOR ANGLE LINTELS AND ALL BEAMS WITH PLATE LINTELS TO BE HOT DIPPED GALVANIZED.

E - CONCRETE & MASONRY:

- ALL CONCRETE TO BE 3,000 PSI AT 28 DAYS.
- CONCRETE WORK TO CONFORM TO ACI-318 CODE, LATEST EDITION.
- COLUMN FOOTINGS SHALL BE CENTERED UNDER COLUMNS UNLESS OTHERWISE NOTED OR DRAWN.
- STEEL COLUMN POCKETS TO BE FILLED WITH CONCRETE AFTER COLUMNS ARE IN PLACE.
- ALL CONCRETE TO BE STONE CONCRETE.
- ISOLATION JOINTS ARE REQUIRED AT EVERY INTERIOR COLUMN (TYPICAL).
- CMU SHALL HAVE MINIMUM ALLOWABLE STRESS OF F'm = 1,500 PSI.
- CMU SUPPLIER SHALL SUBMIT ALL PERTINENT CMU PRODUCT AND DESIGN DATA AND SHALL CERTIFY CMU COMPLIANCE WITH ASTM C 90.
- GROUT SHALL BE FIVE STAR EPOXY GROUT BY US GROUT CORP., OR EQUAL.

F - CONCRETE REINFORCING:

- ALL CONCRETE REINFORCING TO COMPLY WITH LATEST EDITION OF CRSI.
- CONCRETE REINFORCING TO BE NEW BILLET STEEL, GRADE 60.
- REINFORCING STEEL CLEAR COVER TO BE AS FOLLOWS:

CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
FORMED CONCRETE SURFACES IN CONTACT WITH SOIL, WATER	2"
SLAB ON GRADE - TOP, INTERIOR FACE OF WALLS	3/4"

G - WOOD:

- ALL WOOD NAILERS TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED.
- ALL WOOD MEMBERS TO HAVE THE FOLLOWING MINIMUM ALLOWABLE STRESSES:

DIMENSION LUMBER (SPRUCE PINE FIR)	LVL MEMBERS
Fb = 875 psi	Fb = 2,800 psi
Fv = 135 psi	Fv = 285 psi
E = 1,300,000 psi	E = 2,000,000 psi

H - LIGHT-GAUGE:

- ALL LIGHT-GAUGE MEMBERS TO COMPLY WITH LATEST EDITION OF AISI.
- LIGHT-GAUGE METAL FRAMING SYSTEM TO BE COMPLETELY DESIGNED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR LIGHT-GAUGE MEMBER SIZES, SPACING, CONNECTIONS, TEMPORARY BRACING, ETC.
- NO GAPS ARE PERMITTED BETWEEN ANY FLOOR JOISTS AND RIM TRACKS.
- LIGHT-GAUGE MEMBERS SHALL MEET THE FOLLOWING MINIMUM CRITERIA:
 - METAL STUDS AND JOISTS - Fy = 33 ksi
 - MEMBERS WHERE NOTED - Fy = 50 ksi
- LIGHT-GAUGE METAL JOISTS SHALL HAVE 2" MINIMUM FLANGES.
- LIGHT-GAUGE METAL STUDS SHALL HAVE 1-5/8" MINIMUM FLANGES.

I - SOILS AND STRUCTURAL FILL:

- SOIL BEARING DESIGN VALUE = 3,000 psf (ASSUMED).
- UNSUITABLE SOILS SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL COMPACTED TO 95% COMPACTION IN 8" LAYERS.

J - MISCELLANEOUS:

- FIELD VERIFY ALL EXISTING DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- VERIFY ALL NEW DIMENSIONS AND ELEVATIONS WITH EXISTING CONDITIONS AND ARCHITECT.
- SEE HVAC DRAWINGS FOR LOCATION AND SIZE OF ALL FLOOR AND ROOF OPENINGS INCLUDING ROOF FANS. PROVIDE AND INSTALL FRAMING AS SHOWN ON STRUCTURAL DRAWINGS.
- NO MATERIAL SHALL BE FABRICATED UNTIL SHOP DRAWINGS ARE APPROVED. SHOP DRAWINGS SHALL BE SAME SIZE AND CLARITY AS CONTRACT DRAWINGS, AND SHALL BE COORDINATED WITH OTHER RELATED SHOP DRAWINGS.
- NO PERMISSION WILL BE GRANTED FOR ANY STRUCTURAL DRAWINGS TO BE REPRODUCED FOR USE AS SHOP DRAWINGS.
- A MINIMUM OF FOUR HARD COPIES ARE REQUIRED FOR EACH SHOP DRAWING SUBMITTAL (ALL MATERIALS).
- G.C. SHALL COORDINATE THE WORK OF ALL TRADES TO PROVIDE FUNCTIONAL AND DIMENSIONAL COMPATIBILITY BETWEEN ALL COMPONENTS.
- G.C. SHALL SUBMIT TEMPORARY SHORING SUBMITTAL TO THE STRUCTURAL ENGINEER-OF-RECORD FOR REVIEW. SUBMITTAL SHALL INCLUDE DESIGN CALCULATIONS AND SHOP DRAWINGS, AND MUST BE STAMPED AND SIGNED BY A MASSACHUSETTS LICENSED STRUCTURAL ENGINEER PRIOR TO SUBMISSION.
- G.C. TO RELOCATE ALL EXISTING CONDUITS, DUCTS, PIPES, ETC. AS REQUIRED TO PERFORM THE WORK INDICATED (NOT SHOWN FOR CLARITY).

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General Notes
BCC - South County Center
 343 Main Street
 Great Barrington, MA

scale: As Noted
 date: 05.22.2019
 designed by: TPA
 checked by: RAJ

SK-S7